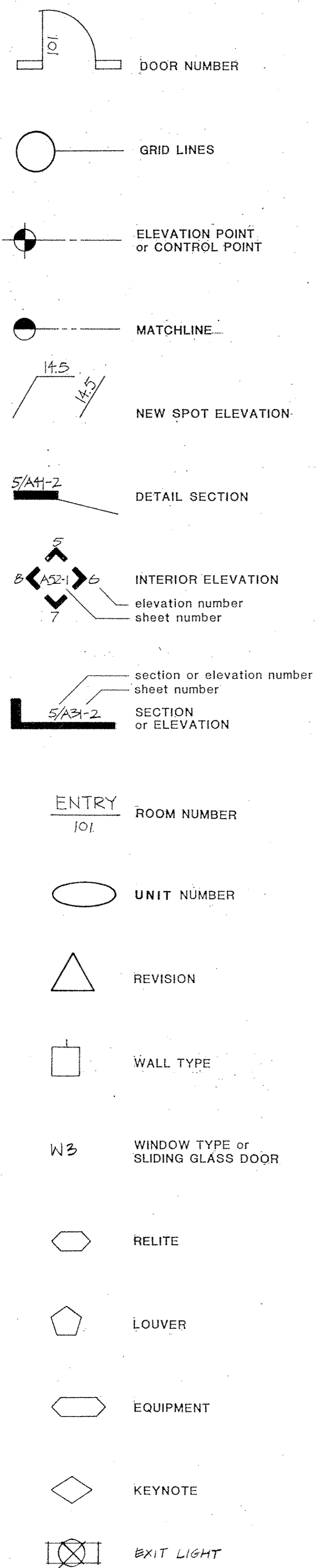


ABBREVIATIONS

AB	Anchor Bolt	MECH	Mechanical
AC	Acoustical	MACH	Machine
ACB	Acoustical Ceiling Board	MO	Masonry Opening
ACT	Acoustical Ceiling Tile	MFR	Manufacturer
AGG	Aggregate	MISC	Miscellaneous
ADJ	Adjustable		
ALUM	Aluminum	NOM	Nominal
ARCH	Architectural	NIC	Not in Contract
		NTS	Not to Scale
BD	Board	NO	Number
BOT	Bottom		
BR	Brick	OC	On Center
BPT	Brick Paving Tile	OD	Outside Diameter
BLDG	Building	OZ	Ounce
BM	Beam	OA	Overall
		OPNG	Opening
CONC	Concrete		
CT	Cast Iron	.PLAM	Plastic Laminate
CLG	Ceiling	FR	Pair
CB	Catch Basin	PLAS	Plaster
COL	Column	PLYND	Plywood
CMU	Concrete Masonry Units	P	Paint
CONT	Continuous	PL	Plate
CT	Ceramic Tile	PT	Point
COOR	Corridor	PT	Polished
CJ	Control Joint	QT	Quarry Tile
CAR	Carpet		
		R	Riser(s)
DIA	Diameter	REF	Refrigerator
DIM	Dimension	REINF	Reinforcing
DN	Down	REQ	Required
DS	Downdraft	RD	Roof Drain
DSP	Dry Standpipe	RO	Rough Opening
DW	Dishwasher	RAD	Radius
DF	Drinking Fountain	RES	Resilient
		SHT	Sheet
EN	Enamel	SIM	Similar
EA	Each	SC	Solid Core
ELEC	Electrical	SOG	Slab on Grade
EL	Elevation	STL	Steel
EQ	Equal	SS	Stainless Steel
EXIST	Existing	SYM	Symmetrical
EXT	Exterior	SQ	Square
EXP	Exposed	SK	Service Sink
EJ	Expansion Joint	SP	Standpipe
ENC	Electric Water Cooler	SPEC	Specifications
		SG	Safety Glass
FOC	Face of Concrete	THK	Thick
FOM	Face of Masonry	T & G	Tongue and Groove
FOS	Face of Stud	TYP	Typical
FT	Foot, Feet	T	Tread(s)
FIG	Footing	TG	Tempered Glass
FIN	Finish	TZ	Terrazzo
FL	Floor		
FH	Flat Head	UND	Unless Noted
FB	Flat Bar	UR	Urinal
FD	Floor Drain		
FDN	Foundation	VERT	Vertical
FE	Fire Extinguisher	VAT	Vinyl Asbestos Tile
FEC	Fire Extinguisher Cabinet	VC	Vertical Grain
FHC	Fire Hose Cabinet	VWC	Vinyl Wall Covering
FRT	Fire Retardant		
		WF	Waterproof
FS	Full Scale	W/F	Welded Wire Fire
FOIC	Furnished by Owner	W/O	Without
		W	Wood
		WSP	Wet Standpipe
		WC	Water Closet
		WH	Water Heater
GA	Gauge		
GI	Galvanized Iron		
GL	Glass		
GWB	Gypsum Wallboard		
GWB/NRO	Gypsum Wallboard Water Resistant		
GAL	Galvanized		
GD	Garbage Disposal		
HT	Height		
HM	Hollow Metal		
HB	Hose Bib		
HORIZ	Horizontal		
HCT	Hollow Clay Tile		
HC	Hollow Core		
HR	Hour		
IG	Insulated Glass		
ID	Inside Diameter		
INSUL	Insulation		
INT	Interior		
IN	Inch(es)		
JAN	Janitor		
JT	Joint		
KD	Kiln Dried		
LAM	Laminate		
LAV	Lavatory		
LT	Light		
MIN	Minimum		
MAX	Maximum		
MDO	Medium Density Overlay		
NET	Metal		

LEGEND



COMBINED AREA & HEIGHT CALCULATIONS

F.A.R. CALCULATIONS
 Lot Area: (270 x 182.25) - (12 x 37/2) = 48,985.50

Building Areas:

Floor	Above Grade	Below (Exempt) Grade
Garage 1	8,812	10,560
2	14,508	14,765
3	18,482	9,959
4	36,452	880
5	37,696	1,594
6	20,517	
CCR - First	16,428	
Second	12,465	
Third	12,465	
TOTAL	177,925	

F.A.R. 177,925
 48,986 = 3.63:1 (<7, okay)

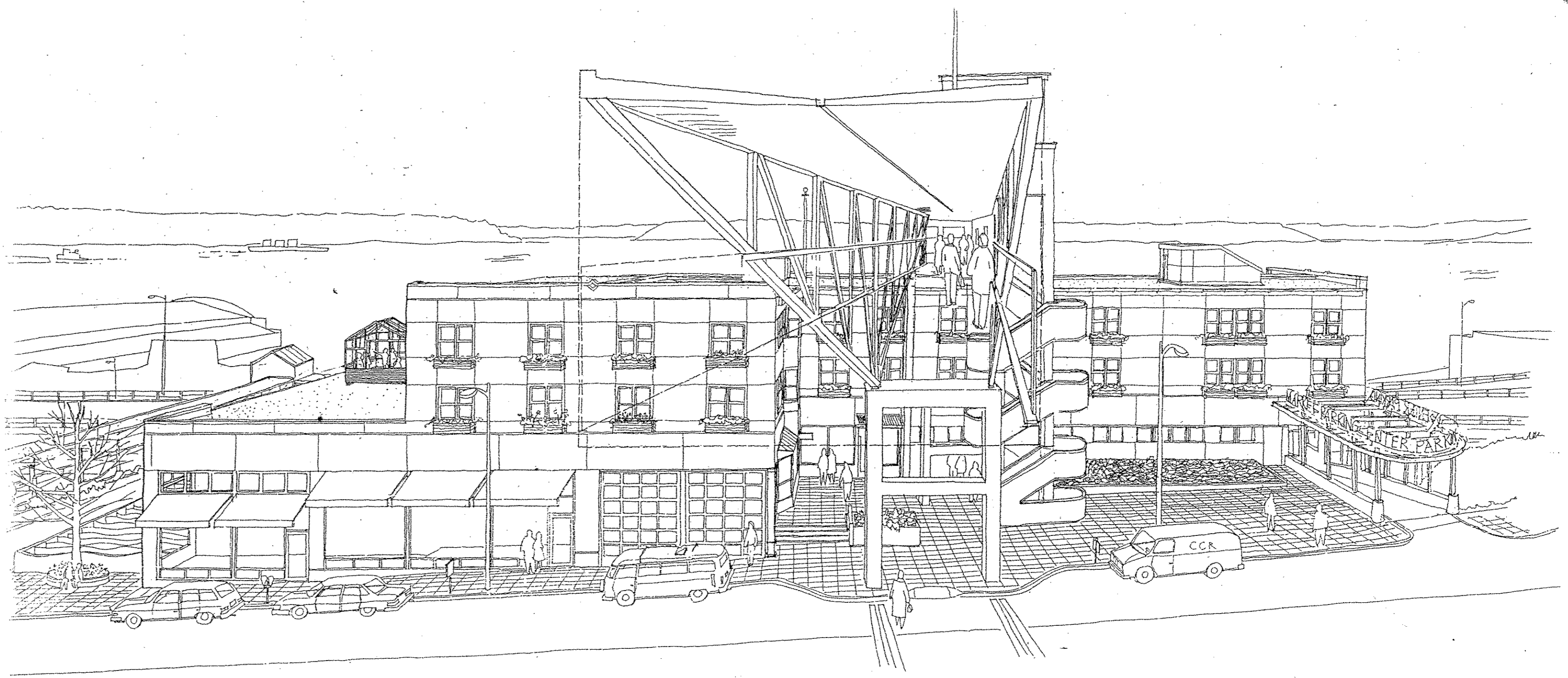
STRUCTURE HEIGHT CALCULATIONS

Western Avenue (property line) Elevation: 56 + 69.75 = 62.88'

Height at Top Floor: 90.27 - 62.88 = 27.39' (<75)
 Height at Parapet: 103.08 - 62.88 = 40.20'
 Height at Penthouse: 111.50 - 62.88 = 48.62'

Alaskan Way (property line) Elevation: 39.67 + 8 = 23.84'

Height at Top Floor: 90.27 - 23.84 = 66.44' (<75)
 Height at Parapet: 103.08 - 23.84 = 79.24'
 Height at Penthouse: 111.50 - 23.84 = 87.66'



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE

LEGAL DESCRIPTION

Revised Legal Descriptions--PC-1 Parcel, Parking Garage Property Disposition

Parcel A: Lots 1, 2, 3, 4, 5, 6, 7, and 8, Block H, Addition to the Town of Seattle, as Laid out by A. Denny (Commonly known as A. A. Denny's 4th Addition to the City of Seattle), as recorded in Volume 1 of Plats, page 69, Records of King County, Washington;

EXCEPT that portion of said Lot 2 condemned for widening and extension of Western Avenue pursuant to Ordinance No. 18109 of the City of Seattle; and

EXCEPT that portion taken for Armory Way in King County Superior Court Cause No. 292884, described as follows:

That portion of Lots 1, 4, 5, and 8, Block H lying southwesterly of a line 31.25 feet southwesterly from end parallel with the southwesterly margin of the alley as platted in said Block H.

TOGETHER WITH that portion of the alley in said Block H as vacated by Ordinance 107097 lying northwesterly of the southeasterly line extended of Lots 7 and 8, said Block H; AND that portion of Pine Street as vacated by Ordinance 23613 and Ordinance 107097 lying between the northwesterly line of said Block H and a line parallel to and 30 feet northwesterly of the northwesterly line of said Block H.

SUBJECT TO easements and restrictions of record.

LIGHT & VENTILATION

DWELLING UNIT #'S	UNIT FLOOR AREA	REQUIRED EXTERIOR OPENING 10% UNIT FLOOR AREA	ACTUAL EXTERIOR OPENINGS 10% UNIT FLOOR AREA	REQUIRED OPENABLE EXTERIOR OPENINGS 05% UNIT FLOOR AREA	ACTUAL OPENABLE EXTERIOR OPENINGS 05% UNIT FLOOR AREA
201, 301	248 SF	24.8 SF	24.93	12.4 SF	12.47
202, 302	248 SF	24.8 SF	24.93	12.4 SF	12.47
203, 303	248 SF	24.8 SF	24.93	12.4 SF	12.47
204, 304	248 SF	24.8 SF	24.93	12.4 SF	12.47
205, 305	248 SF	24.8 SF	24.93	12.4 SF	12.47
206, 306	423 SF	42.3 SF	49.875	21.15 SF	24.93
207, 307	248 SF	24.8 SF	37.41	13.75 SF	18.70
208, 308	248 SF	24.8 SF	49.875	13.75 SF	24.93
109, 209, 309	248 SF	24.8 SF	24.93	12.4 SF	12.47
110, 210, 310	248 SF	24.8 SF	24.93	12.4 SF	12.47
111, 211, 311	248 SF	24.8 SF	24.93	12.4 SF	12.47
112, 212, 312	248 SF	24.8 SF	24.93	12.4 SF	12.47
113, 213, 313	248 SF	24.8 SF	24.93	12.4 SF	12.47
114, 214, 314	248 SF	24.8 SF	24.93	12.4 SF	12.47
115, 215, 315	248 SF	24.8 SF	24.93	12.4 SF	12.47
216, 316	248 SF	24.8 SF	24.93	12.4 SF	12.47
217, 317	248 SF	24.8 SF	24.93	12.4 SF	12.47
218, 318	610 SF	61.0 SF	49.875	30.5 SF	24.93
219, 319	248 SF	24.8 SF	24.93	12.4 SF	12.47
220, 320	248 SF	24.8 SF	24.93	12.4 SF	12.47
221, 321	248 SF	24.8 SF	24.93	12.4 SF	12.47
222, 322	248 SF	24.8 SF	24.93	12.4 SF	12.47
223, 323	248 SF	24.8 SF	24.93	12.4 SF	12.47
224, 324	248 SF	24.8 SF	24.93	12.4 SF	12.47
225, 325	281 SF	28.1 SF	37.41	14.05 SF	18.70
226, 326	248 SF	24.8 SF	24.93	11.3 SF	12.47
227, 327	226 SF	22.6 SF	24.93	11.3 SF	12.47
228, 328	281 SF	28.1 SF	37.41	14.05 SF	18.70

* AREAS INCLUDE CLOSETS & LIVING AREAS BUT NOT BATHROOMS

CODE NOTES

PROJECT: Pike Place Market Congregate Care Residence

ADDRESS: 1525-29 Western Avenue

ZONING/LAND USE: Pike Market Mixed (not part of Historic District); PM 85 Urban Renewal Plan. South portion of PC-1 site.

PREVIOUS PERMITS: Concrete Parking Structure

- M.P. 639143
- Shoring and Excavation, 639312
- Market Opening, 640229
- Superstructure, 640228

Congregate Care Residence

- MUP Application 8805890

TYPE OF CONSTRUCTION: Type V, 1-hour, 3-hour separation to parking structure.

SPRINKLERS: Fully sprinklered fast response type heads. Pipe size and head locations to meet NFPA 13 Light Hazard. Connected to the parking structure sprinkler system.

UNIT MIX: Single Room Occupancy (SRO) Units: 59 (254 to 336 SF)
 Double Occupancy Units: 2 (490 SF)
 One Bedroom Unit: 1 (672 SF)
 Total Units: 62
 Barrier-Free Units: 7 (762 = 11%)
 (Unit numbers 109 through 115 are barrier-free units)
 Net Rentable Area (single and double units): 19,600 SF

USE, OCCUPANCY, GROSS AREA, OCCUPANT LOAD

FIRST FLOOR:

- R-1 Residential:
 - Dwelling units: 3,233 + 300 = 11
 - Dwelling unit support areas (office, living, etc): 6,770 + 100 = 68
 - Dining room: 1,580 + 15 = 105
- B-2 Retail (Finishes not in this permit):
 - Retail (ground floor): 1,166 + 30 = 39
 - Commercial kitchen: 1,528 + 200 = 8
 - Clinic: 2,151 + 80 = 27

16,428 = 258

SECOND FLOOR: R-1 Residential 12,465 + 300 = 42

THIRD FLOOR: R-1 Residential 12,465 + 300 = 42

Total Gross Building Area = 41,358

*Note: Gross areas measured to outside face of building wall.

Total Occupant Load = 342

EXIT WIDTH

25% Third Floor Occupants = 10.5
 50% Second Floor Occupants = 21.0
 100% First Floor (less Retail and Clinic) = 192.0
 223.5
 + 50
 4.47 required
 7'-0" provided

Parking: None provided in this permit. All parking in concrete parking structure below. (535 spaces.)

DRAWING INDEX

- A0.1 COVER SHEET
- A1.1 PLAZA PLAN
- A2.1 FIRST FLOOR PLAN / SITE PLAN
- A2.2 SECOND FLOOR PLAN - DOOR SCHEDULE
- A2.3 THIRD FLOOR PLAN - PARTITION SCHEDULE, FINISH SCHEDULE
- A2.4 ROOF PLAN - ROOF DETAILS
- A3.1 EAST ELEVATION / NORTH ELEVATION
- A3.2 WEST ELEVATION / SOUTH ELEVATION
- A3.3 BUILDING SECTIONS / WINDOW SCHEDULE
- A3.4 HALL SECTIONS
- A4.1 ENLARGED LEVEL 1 PLANS
- A4.2 ENLARGED LEVEL 2 & 3 PLANS
- A4.3 ENLARGED LEVEL 3 PLANS
- A5.1 INTERIOR ELEVATIONS - UNITS
- A5.2 INTERIOR ELEVATIONS - PUBLIC SPACES
- A5.3 INTERIOR ELEVATIONS - PUBLIC SPACES
- A6.1 REFLECTED CEILING AND LIGHTING PLAN - LEVEL 1
- A6.2 REFLECTED CEILING AND LIGHTING PLAN - LEVELS 2 & 3
- A6.3 UNIT POWER AND COMMUNICATION PLAN
- A7.1 STAIR & ELEVATOR SECTIONS
- A8.1 DETAILS
- S.1 STRUCTURAL NOTES AND DETAILS
- S.2 LOAD MAP
- S.3 FIRST FLOOR FRAMING PLAN AND SHEAR
- S.4 SECOND FLOOR FRAMING PLAN AND DETAILS
- S.5 THIRD FLOOR FRAMING PLANS AND DETAILS
- S.6 ROOF FRAMING
- S.7 DETAILS
- M1 MECHANICAL COVER SHEET
- M2 FIRST FLOOR HVAC PLAN
- M3 SECOND FLOOR HVAC PLAN
- M4 THIRD FLOOR HVAC PLAN

PROJECT TEAM

DEVELOPED BY: Pike Place Market Preservation & Development Authority
 85 Pike Street, Room 500
 Seattle, Washington 98101
 682-7453

FOR: Seattle Housing Authority
 120 Sixth Avenue North
 Seattle, Washington 98109
 443-4400

ARCHITECT: The Bumgardner Architects
 101 Stewart Street, Suite 200
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 223-1361

CONSULTANTS

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 Seattle, Washington 98109
 693-1621

MECHANICAL: deMontigny Engineers, Inc.
 24602 Military Road South
 PO Box 906
 Kent, Washington 98032
 941-2139

ELECTRICAL: McKinney and Associates
 9401 - 112th Avenue NE
 Kirkland, Washington 98033
 828-6453

HEALTH CARE: Weisenbach Incorporated
 231 Summit Avenue East
 Seattle, Washington 98102
 329-0323

CONTRACTOR: Walsh Construction
 1415 Western Avenue
 Seattle, Washington 98101
 467-8375

THE BUMGARDNER ARCHITECTS
 A WASHINGTON CORPORATION
 101 STEWART STREET
 SUITE 200
 SEATTLE, WASHINGTON 98101
 206-223-1361

REGISTERED ARCHITECT
 DAVID H. WRIGHT
 STATE OF WASHINGTON

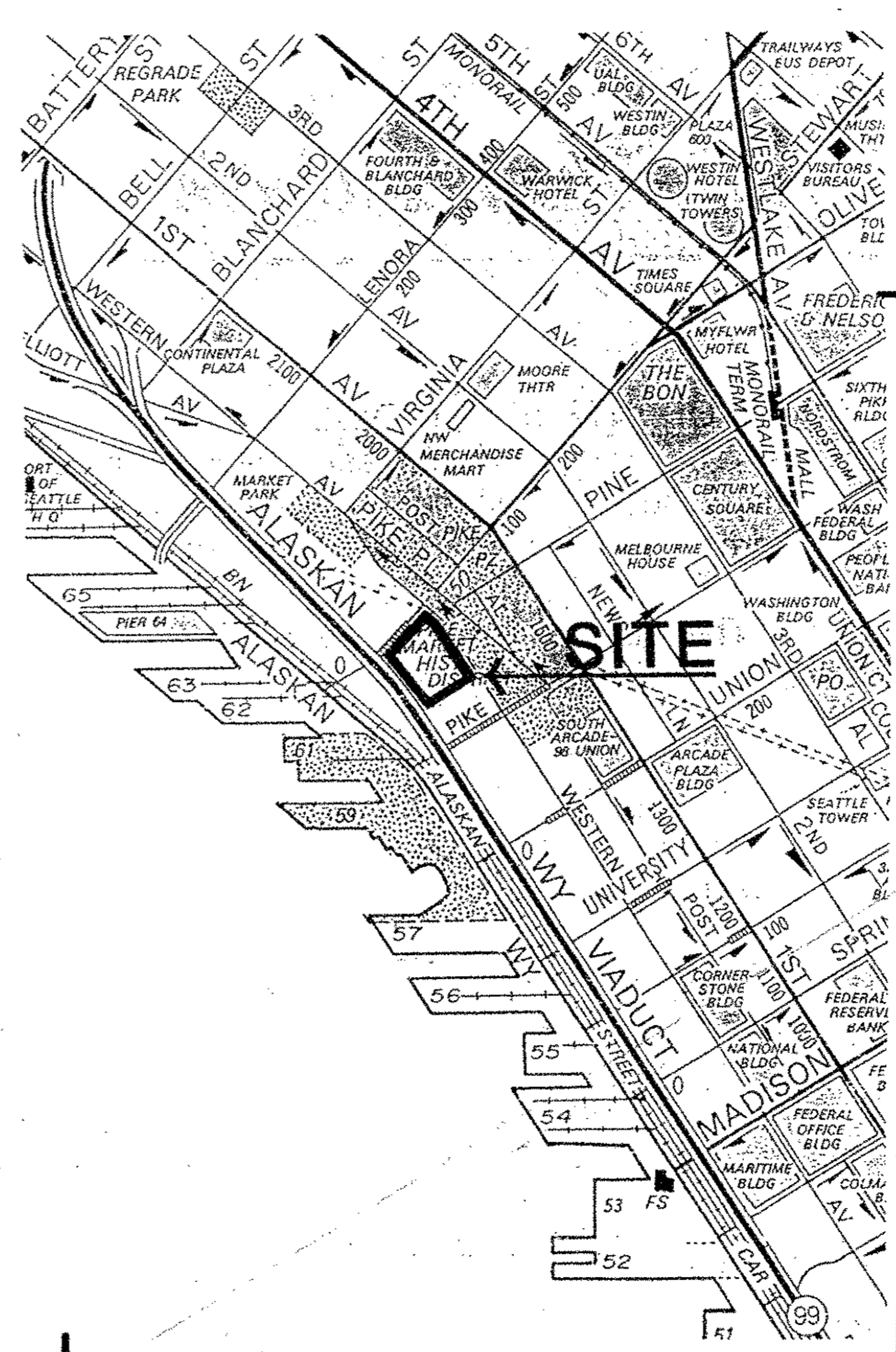
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No	Revisions	Date
Date 10 OCT 25 - MUP		
Drawn by		
Checked by		

Project No 1114.01

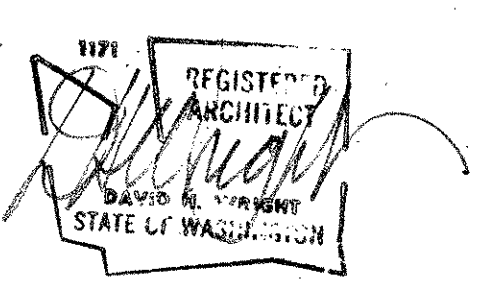
COVER SHEET

A0.1



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THE BURGARDNER ARCHITECTS
A WASHINGTON CORPORATION
101 STEWART STREET
SUITE 200
SEATTLE, WASHINGTON 98101
206-223-1361



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for THE SEATTLE HOUSING AUTHORITY
by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

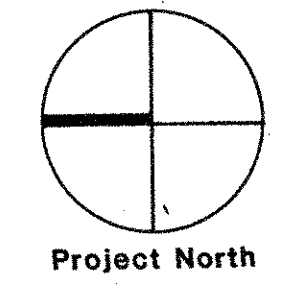
SITework IN PREVIOUS PARKING GARAGE PERMIT

FUTURE RETAIL
N.I.C.

PUBLIC PLAZA

SCORED CONC. TOPPING SLAB OVER
WATERPROOF MEMBRANE

ENLARGED PLAZA PLAN
1/4" = 1'-0"



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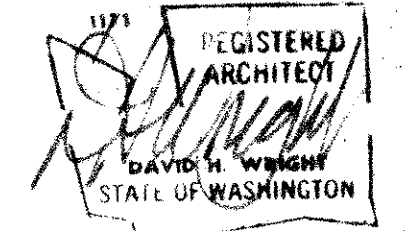
No	Revisions	Date

Date _____
 Drawn by _____
 Checked by _____

Project No 1114.01

PLAZA PLAN

A1.1

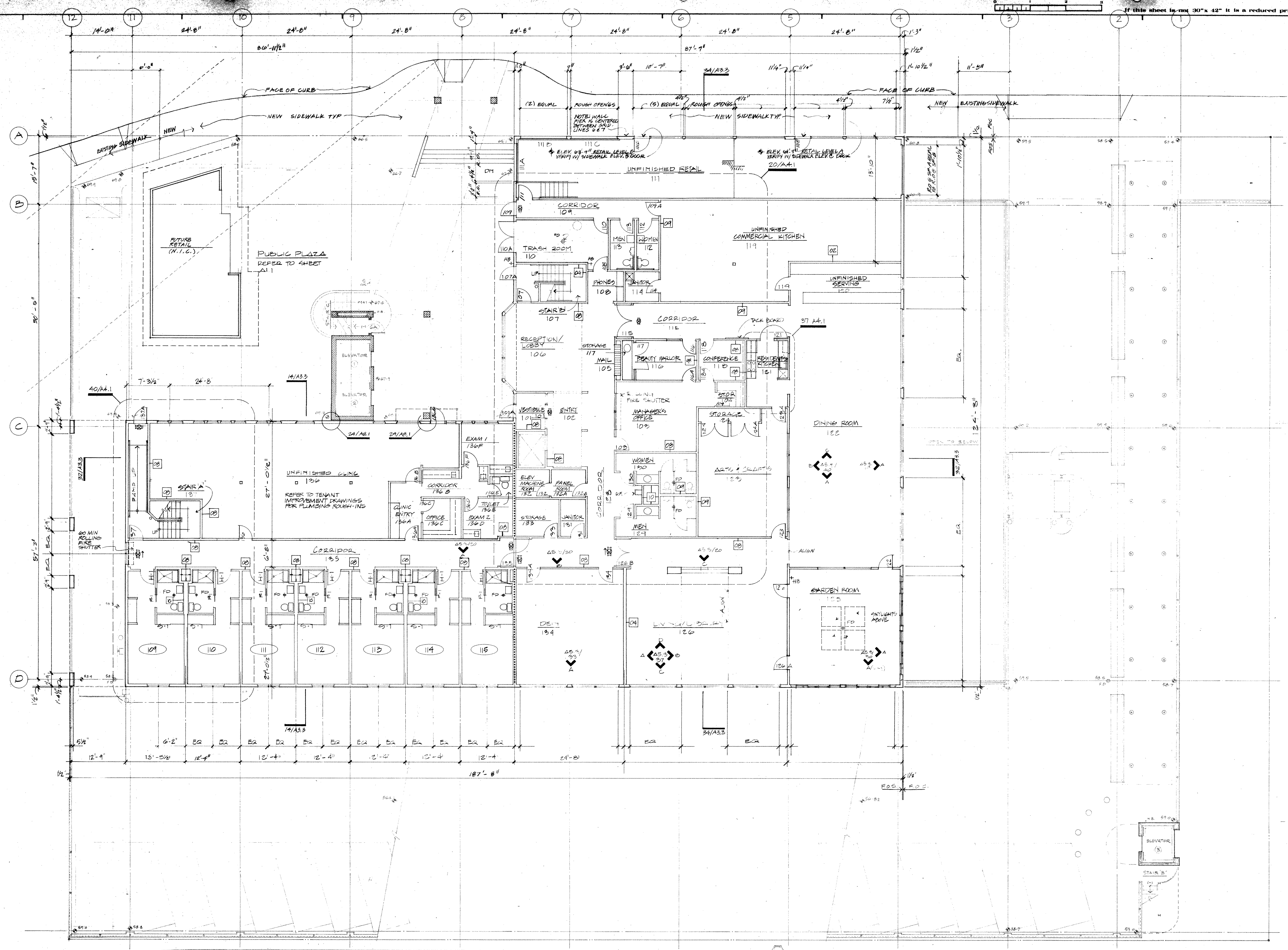


PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
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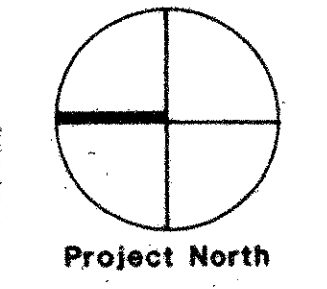
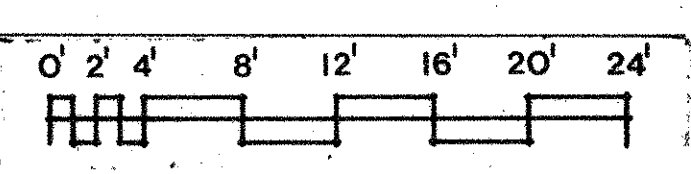
No.	Revisions	Date
1	DATE 10 OCT 88 - MUP	
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3		

Project No 1114.01

FIRST FLOOR PLAN /
 SITE PLAN



FIRST FLOOR PLAN / SITE PLAN



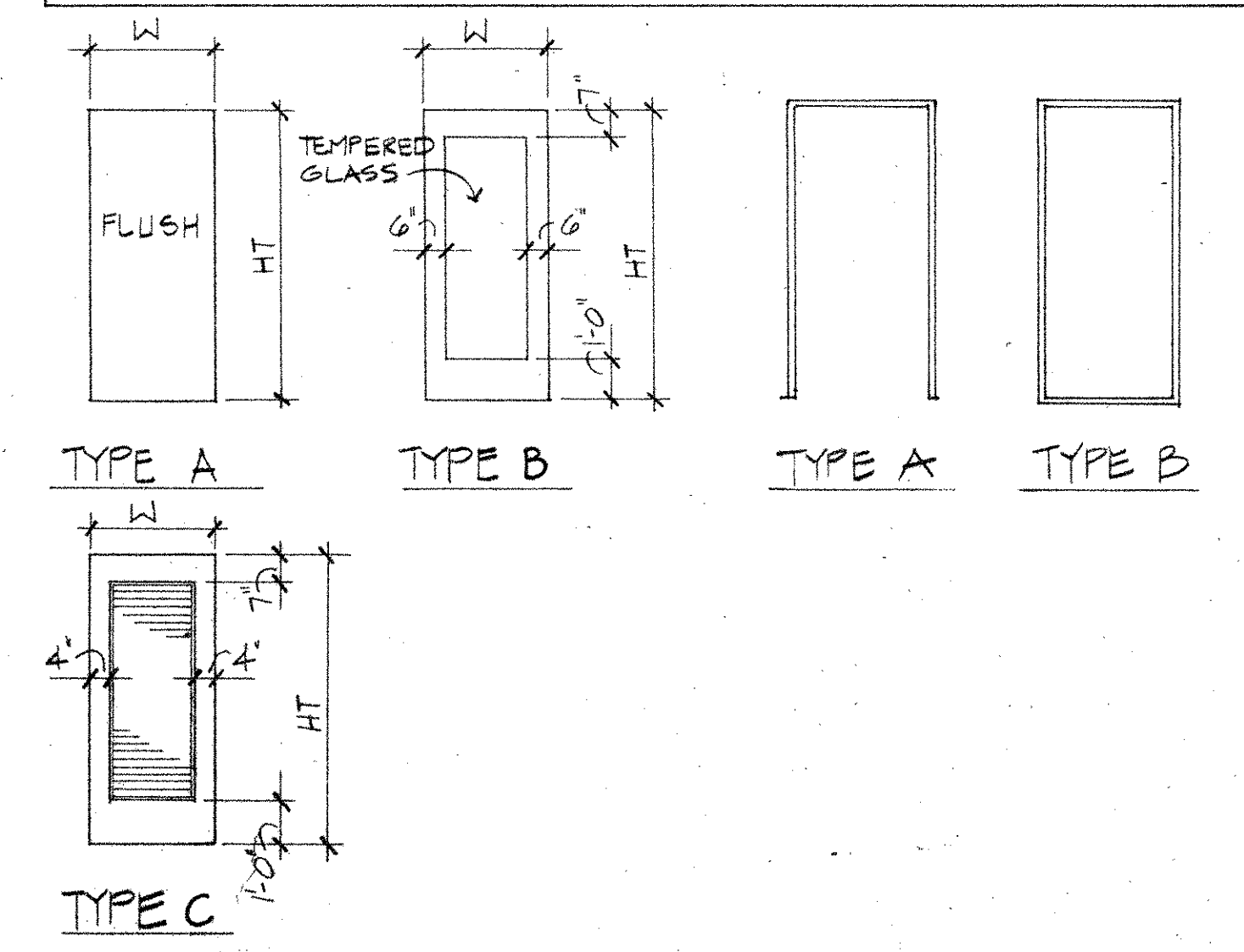
- NOTES:
1. WINDOW ROUGH OPENINGS ON SHEET A3.3
 2. STOREFRONT ROUGH OPENINGS ON SHEET A3.1
 3. WALL TYPE SCHEDULE ON SHEET A2.3

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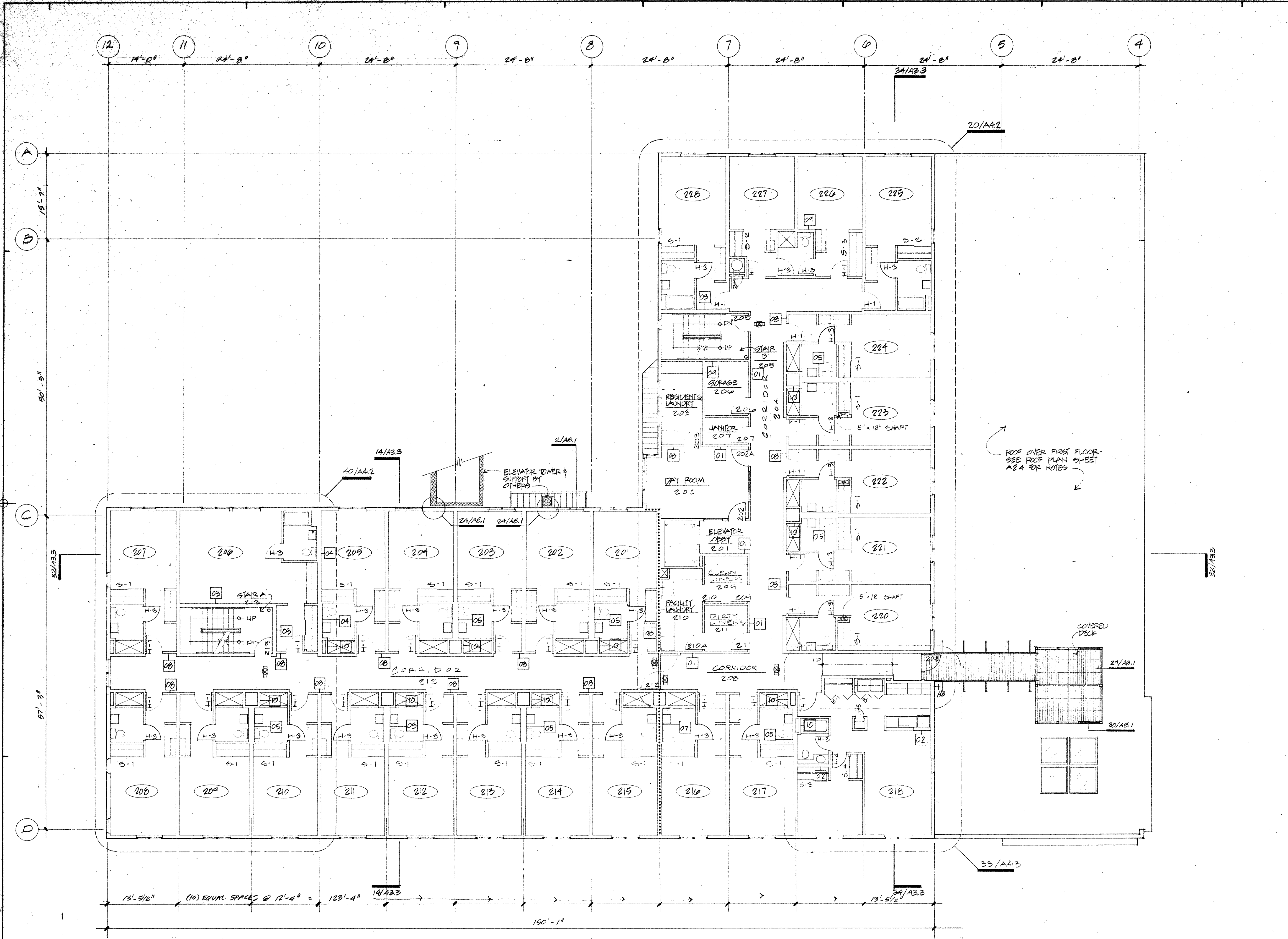
DOOR SCHEDULE

DOOR NO.	DOOR TYPE	SIZE	MAT	FIN	HR	FR	EM	LABEL	TYPE	MAT	FIN	HR	JAMB	STILL	REMARKS
101	B	3-0 x 6-8	WD	SVU	-	-	-	-	WD	SVU	-	-	-	-	SEE 18/A3.3
101A	B	3-0 x 6-8	WD	SVU	-	-	-	-	WD	SVU	-	-	-	-	SEE 18/A3.3
103	B	3-0 x 6-8	SCW	SVU	20	Min	A	HM	P	A	A	A	A	A	18/A3.3
104	A	3-0 x 6-8	HCW	SVU	-	-	-	-	A	WD	SVU	A	A	A	
107	A	3-0 x 6-8	SCW	SVU	60	Min	A	HM	P	B	B	B	B	B	
107A	A	3-0 x 6-8	HM	P	-	-	-	-	A	HM	P	26/A4.1	27/A4.1		
108	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
109	A	3-0 x 6-8	HM	P	-	-	-	-	A	HM	P	26/A4.1	27/A4.1		
109A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
110	A	3-0 x 6-8	HM	P	-	-	-	-	A	HM	P	B	B		
110A	A	PR 3-6 x 6-8	HM	P	-	-	-	-	A	HM	P	26/A4.1	27/A4.1		
111	B	3-6 x 6-8	HM	P	-	-	-	-	A	HM	P	A	A		
111A	D	3-6 x 6-8	WD	P	-	-	-	-	-	-	-	20/A3.4	25/A3.4	20/A3.4	Overhead Door
111B	D	3-6 x 6-8	WD	P	-	-	-	-	-	-	-	20/A3.4	25/A3.4	20/A3.4	Overhead Door
111C	D	3-6 x 6-8	WD	P	-	-	-	-	-	-	-	20/A3.4	25/A3.4	20/A3.4	Overhead Door
111D	D	3-6 x 6-8	WD	P	-	-	-	-	-	-	-	20/A3.4	25/A3.4	20/A3.4	Overhead Door
111E	B	3-6 x 6-8	ALUM	FREE	-	-	-	-	SE-F	ALUM	FREE	35/A3.4	35/A3.4	35/A3.4	
112	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
113	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
114	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
115	A	PR 3-6 x 7-10	SCW	P	20	Min	A	HM	P	B	B	B	B	B	Magnetic Hold-open
116	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
116A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
117	A	PR 3-6 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Mirror on inside of doors
118	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
118A	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
119	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
121	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	Magnetic Hold-open
122	B	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Insulated Glass
123	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Insulated Glass
123A	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Insulated Glass
124	A	PR 3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Magnetic Hold-open
124A	A	PR 3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Magnetic Hold-open
126	B	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Insulated Glass
126A	B	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	Insulated Glass
126B	A	PR 3-0 x 7-10	SCW	P	20	Min	A	HM	P	B	B	B	B	B	Magnetic Hold-open
129	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
130	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
131	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
132	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
132A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
133	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
134	B	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
134A	B	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
135	A	PR 3-0 x 7-10	HM	P	50	Min	A	HM	P	30/A2.3	20/A2.3				Magnetic Hold-open
136	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
136A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
136B	B	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
136C	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
136D	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
136E	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
136F	A	3-0 x 6-8	SCW	SVU	-	-	-	-	-	-	-	-	-	-	
136G	P	3-0 x 6-8	ALUM	FREE	-	-	-	-	SE-J	ALUM	FREE				
137	A	3-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
137A	A	3-0 x 6-8	HM	P	-	-	-	-	A	HM	P	26/A4.1	27/A4.1		
202	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	Magnetic Hold-open
202A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	Magnetic Hold-open
203	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
204	A	2-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
205	A	3-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
206	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
207	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
208	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
209	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
210	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
210A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
211	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
212	A	PR 3-0 x 7-10	HM	P	90	Min	A	HM	P	30/A2.3	20/A2.3				Magnetic Hold-open
213	A	3-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
202	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
302A	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
302	A	2-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
304	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
305	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
306	A	3-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	
308	A	2-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
309	A	3-0 x 6-8	SCW	SVU	20	Min	A	WD	SVU	A	A	A	A	A	
310	A	PR 3-0 x 7-10	HM	P	90	Min	A	HM	P	30/A2.3	20/A2.3				Magnetic Hold-open
311	A	3-0 x 6-8	HM	P	60	Min	A	HM	P	B	B	B	B	B	

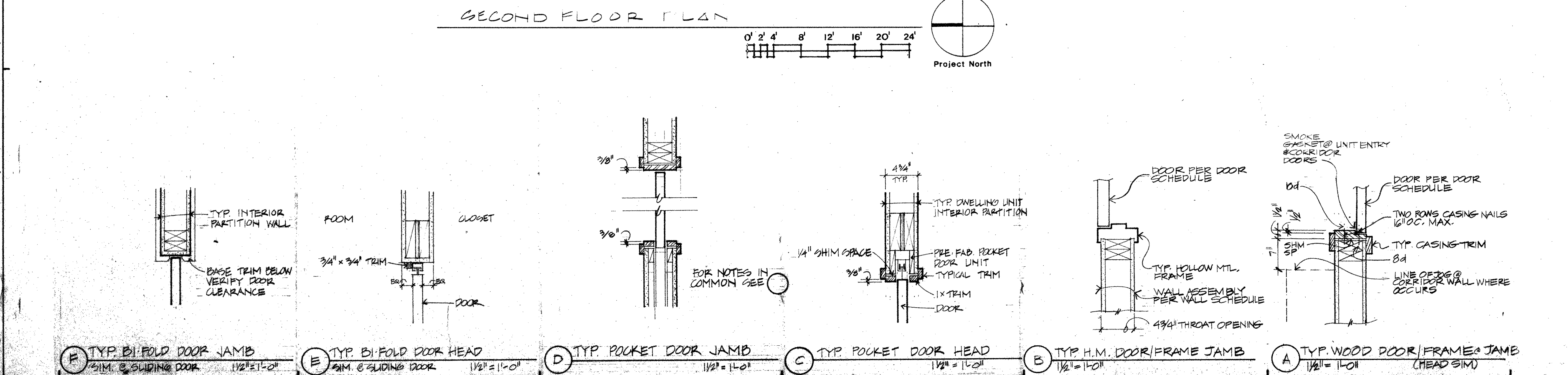
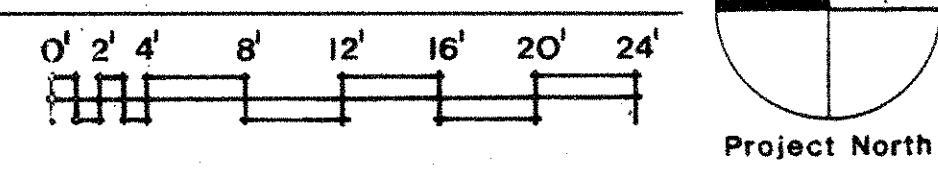
NOTES:
 1. Fire doors shall bear a label from a recognized agency.
 2. Fire doors shall be equipped with approved latches and self-closing devices. Refer to hardware schedule.
 3. Stair enclosure doors shall meet the '450 degree F. maximum temperature rise' restriction.
 4. Corridor doors shall have smoke gasketing.



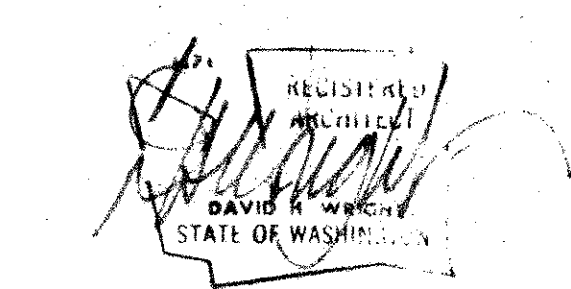
DOOR TYPES **FRAME TYPES**



SECOND FLOOR PLAN



THE BUNGGARDNER ARCHITECTS
 A CONSULTING CORPORATION
 101 STEWART STREET
 SUITE 200
 SEATTLE, WASHINGTON 98101
 206-223-1361



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No	Revisions	Date

Date 10 OCT 88 - MUP

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Project No 1114.01

SECOND FLOOR PLAN
 DOOR SCHEDULE

A2.2

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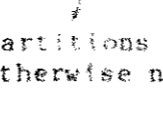
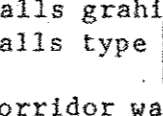
FINISH SCHEDULE

ROOM NUMBER	NAME	FLOOR MAT	FIN	COLOR	BASE MAT	FIN	COLOR	WALLS MATERIAL	FIN	COLOR	CEILING MATERIAL	FIN	COLOR	REMARKS
101	VESTIBULE							GWB	P		GWB	P		
102	ENTRY							GWB	P		GWB	P		
103	MANAGER'S OFFICE	CAR	-		WD SVU			GWB	P		GWB	P		
104	MAIL	RES	-		RES	-		GWB	P		GWB	P		
105	MAIL	RES	-		RES	-		GWB	P		GWB	P		RES FLOOR FOTC
106	DAY ROOM	CAR	-		WD SVU			GWB	P		GWB	P		
107	STAIR B	RES	-		RES	-		GWB	P		GWB	P		
108	PHONES	CAR	-		WD SVU			GWB	P		GWB	P		
109	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
110	TRASH ROOM	CNC SEALED			RES	-		GWB	P		GWB	P		
111	UNIT IN RETAIL	CNC	-					GWB	P		GWB	P		
112	WOMEN	RES	-		RES	-		GWB	P		GWB	P		
113	MEN	RES	-		RES	-		GWB	P		GWB	P		
114	JANITOR	RES	-		RES	-		GWB	P		GWB	P		
115	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
116	BEAUTY PARLOR	RES	-		RES	-		GWB	P		GWB	P		
117	STORAGE	RES	-		RES	-		GWB	P		GWB	P		
118	CONFERENCE	CAR	-		WD SVU			GWB	P		GWB	P		
119	COMM KITCHEN	CAR	-		WD SVU			GWB	P		GWB	P		
120	SERVING	CAR	-		WD SVU			GWB	P		GWB	P		
121	RESIDENTS KITCHEN	RES	-		RES	-		GWB	P		GWB	P		
122	DINING ROOM	CAR	-		WD SVU			GWB	P		GWB	P		
123	ARTS AND CRAFTS	RES	-		RES	-		GWB	P		GWB	P		
124	STORAGE	RES	-		RES	-		GWB	P		GWB	P		
125	GARDEN ROOM	CAR	-		WD SVU			GWB	P		GWB	P		
126	LIVING/LIBRARY	CAR	-		WD SVU			GWB	P		GWB	P		
127	---NOT USED---													
128	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
129	MEN	CT	-		CT	-		GWB	P		GWB	P		
130	WOMEN	CT	-		CT	-		GWB	P		GWB	P		
131	JANITOR	RES	-		RES	-		GWB	P		GWB	P		
132	ELEV MACHINE ROOM	CNC SEALED			RES	-		GWB	P		GWB	P		
132A	PANEL ROOM	RES	-		RES	-		GWB	P		GWB	P		
133	STORAGE	RES	-		RES	-		GWB	P		GWB	P		
134	DEK	CAR	-		WD SVU			GWB	P		GWB	P		
135	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
136	UNIT IN CLINIC	CNC	-					GWB	P		GWB	P		
137	STAIR A	RES	-		RES	-		GWB	P		GWB	P		
201	ELEVATOR LOBBY	CAR	-		WD SVU			GWB	P		GWB	P		
202	DAY ROOM	CAR	-		WD SVU			GWB	P		GWB	P		
203	RESIDENTS LAUNDRY	RES	-		RES	-		GWB	P		GWB	P		
204	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
205	STAIR B	RES	-		RES	-		GWB	P		GWB	P		
206	STORAGE	RES	-		RES	-		GWB	P		GWB	P		
207	JANITOR	RES	-		RES	-		GWB	P		GWB	P		
208	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
209	CLEAN LINENS	RES	-		RES	-		GWB	P		GWB	P		
210	FACILITY LAUNDRY	RES	-		RES	-		GWB	P		GWB	P		
211	SOILED LINENS	RES	-		RES	-		GWB	P		GWB	P		
212	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
213	STAIR A	RES	-		RES	-		GWB	P		GWB	P		
301	ELEVATOR LOBBY	CAR	-		WD SVU			GWB	P		GWB	P		
302	DAY ROOM	CAR	-		WD SVU			GWB	P		GWB	P		
303	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
304	STAFF LOUNGE	RES	-		RES	-		GWB	P		GWB	P		
305	TOILET	RES	-		RES	-		GWB	P		GWB	P		
306	STAIR B	RES	-		RES	-		GWB	P		GWB	P		
307	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
308	JANITOR	RES	-		RES	-		GWB	P		GWB	P		
309	STORAGE	RES	-		RES	-		GWB	P		GWB	P		
310	CORRIDOR	CAR	-		WD SVU			GWB	P		GWB	P		
311	STAIR A	RES	-		RES	-		GWB	P		GWB	P		
401	PENTHOUSE	CAR	-		WD SVU			GWB	P		GWB	P		
TYPICAL UNITS AND ONE BEDROOM														
ENTRY	CAR	-		WD SVU				GWB	P		GWB	P		
HALL	CAR	-		WD SVU				GWB	P		GWB	P		
LIVING	CAR	-		WD SVU				GWB	P		GWB	P		
DINING	CAR	-		WD SVU				GWB	P		GWB	P		
BATH	RES	-		WD SVU				GWB	P		GWB	P		
BEDROOM	CAR	-		WD SVU				GWB	P		GWB	P		
CLOSET	RES	-		WD SVU				GWB	P		GWB	P		
KITCHEN	RES	-		WD SVU				GWB	P		GWB	P		
LAUNDRY	RES	-		WD SVU				GWB	P		GWB	P		
PANTRY	RES	-		WD SVU				GWB	P		GWB	P		

PARTITION SCHEDULE

NO.	DESCRIPTION	REMARKS
01	1 HR 2x4 WD STUDS @ 16" O.C. 1 LAYER 9/8 GWB EA. SIDE.	WP 3510
02	1 HR 2x6 WD STUDS @ 16" O.C. 1 LAYER 9/8 GWB EA. SIDE.	WP 3510
03	1 HR (2) 2x4 WD STUDS @ 16" O.C. 1 LAYER 9/8 TYPE X GWB EA. SIDE W/ ACoustICAL BATTIS ONE SIDE.	WP 3910 OR EQUIVALENT
04	1 HR 2x4 WD STUDS @ 16" O.C. 1 LAYER 9/8 TYPE X GWB EA. SIDE W/ ACoustICAL BATTIS ONE SIDE.	WP 3910 OR EQUIVALENT
05	1 HR (2) 2x6 WD STUDS @ 16" O.C. 1 LAYER 9/8 TYPE X GWB EA. SIDE W/ ACoustICAL BATTIS ONE SIDE.	WP 3910 OR EQUIVALENT
06	2 HR (2) 2x4 WD STUDS @ 16" O.C. 2 LAYERS 9/8 TYPE X GWB EA. SIDE W/ ACoustICAL BATTIS ONE SIDE.	WP 3820 OR EQUIVALENT
07	2 HR (2) 2x6 WD STUDS @ 16" O.C. 2 LAYERS 9/8 TYPE X GWB EA. SIDE W/ ACoustICAL BATTIS ONE SIDE.	WP 3820 OR EQUIVALENT
08	1 HR 2x4 WD STUDS @ 16" O.C. 1 LAYER 9/8 GWB EA. SIDE W/ ACoustICAL BATTIS.	WP 3510
09	1 HR 2x6 WD STUDS @ 16" O.C. 1 LAYER 9/8 GWB EA. SIDE W/ ACoustICAL BATTIS.	WP 3510 OR EQUIVALENT
10	1 HR (2) 2x4 WD STUDS @ 16" O.C. 1 LAYER 9/8 GWB EA. SIDE W/ ACoustICAL BATTIS.	WP 3510 OR EQUIVALENT

PARTITION AND FLOOR TYPE NOTES

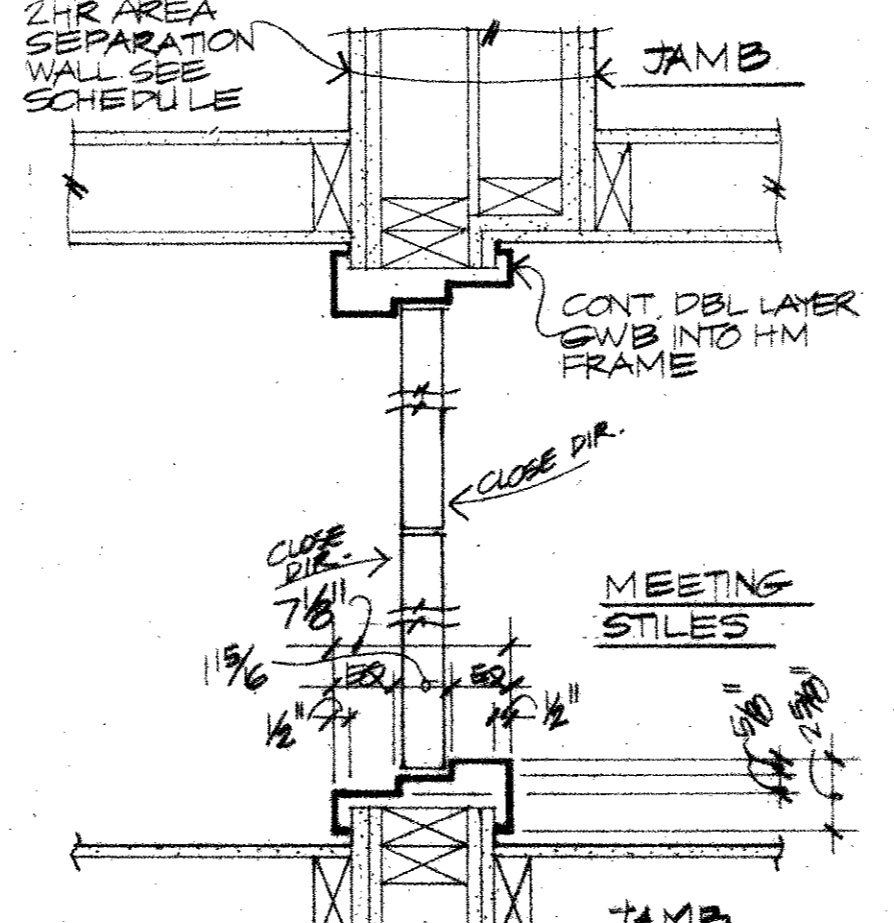
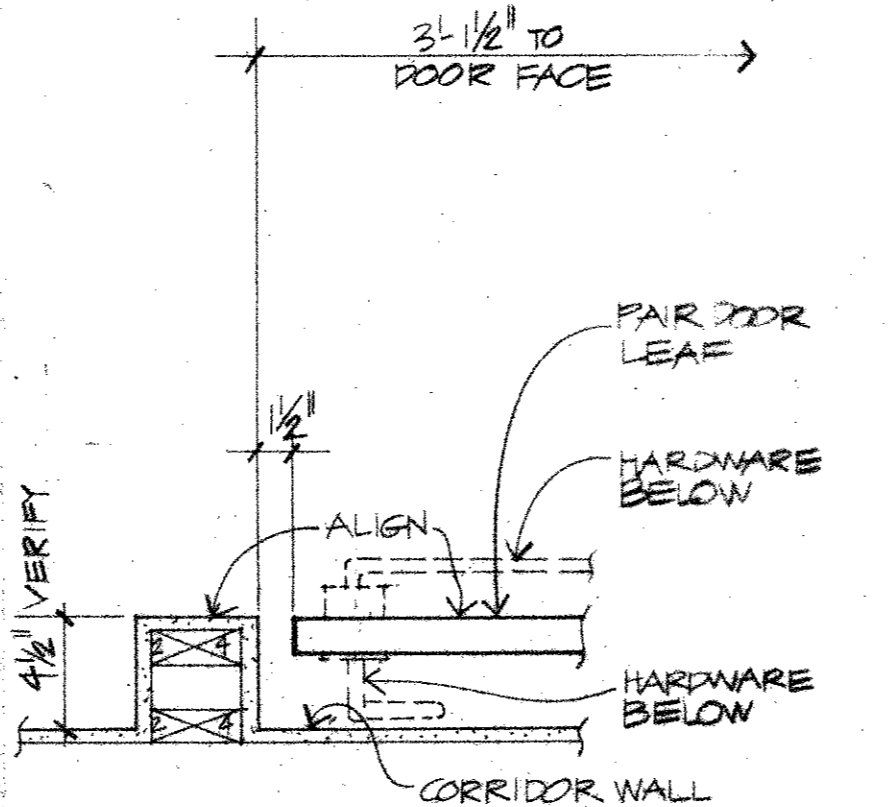
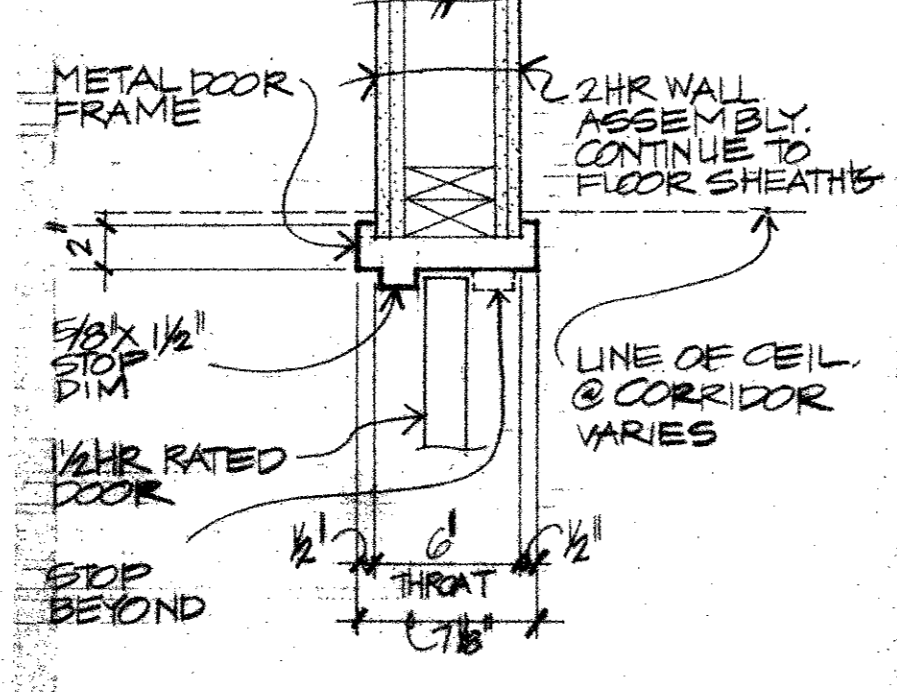
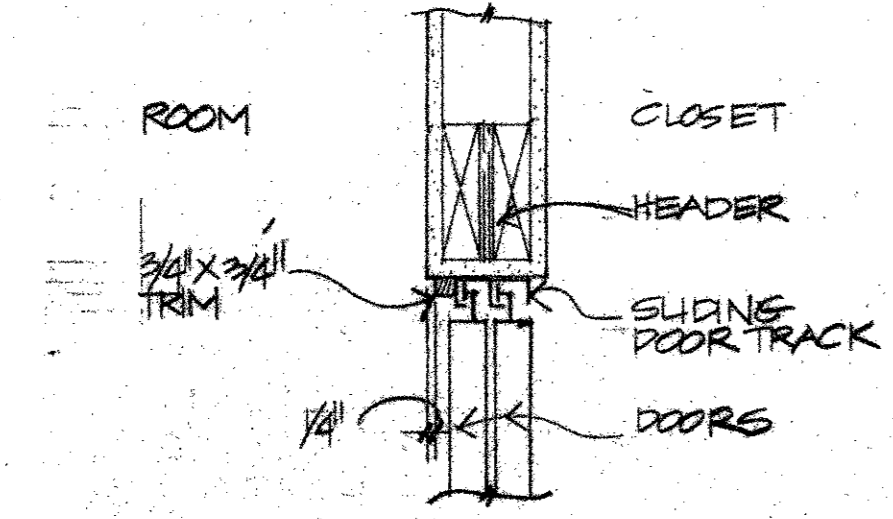
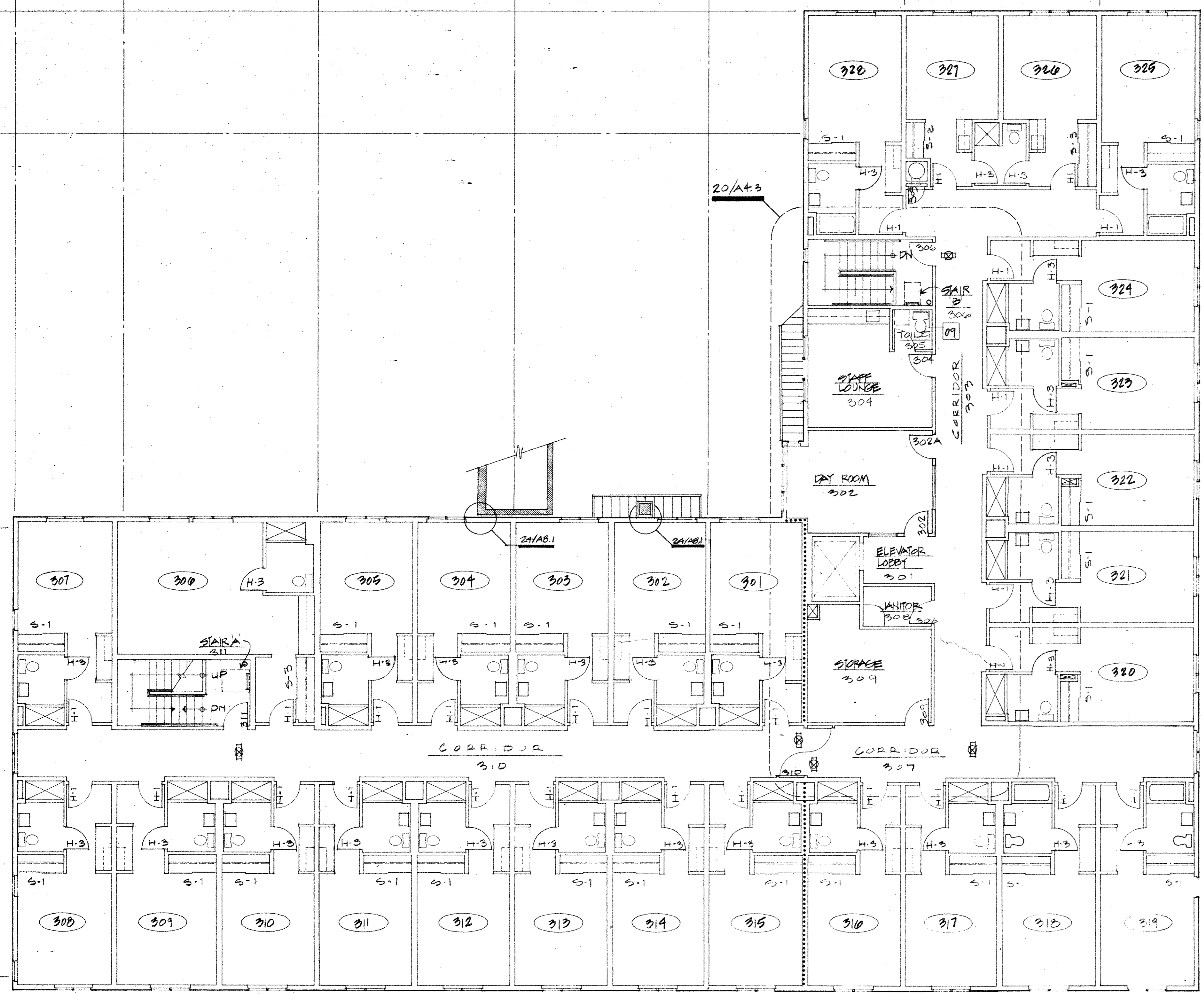
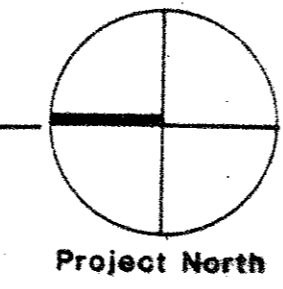
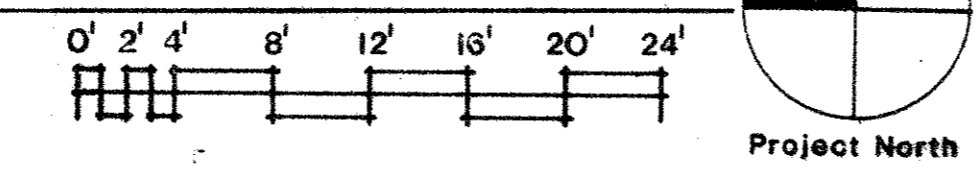
- The basic Partition Types for the project are listed below and may not be identified by a type symbol.
 - Partitions graphically shown  shall be type 01 unless otherwise noted.
 - Party walls separating adjacent units shall be type 03 unless otherwise noted.
 - Walls graphically shown  shall be two-hour area separation walls type 06 unless otherwise noted.
 - Corridor walls shall be type 09 unless otherwise noted.
- Partition types as noted by symbol or graphic are continuous between corners and any intersection partition unless otherwise noted.
- Partition dimensions are to face of stud unless shown otherwise. Partition dimensions in Partition Schedule are to finished face. Partition not dimensioned are located by column centerline, alignment, or other such obvious regulator. Critical clearances are designated "clear" and are to face of finish partition.
- Differing partition types shall align so wall planes continue unbroken within rooms, unless otherwise indicated.

FLOOR TYPE SCHEDULE

NO.	DESCRIPTION	REMARKS
21	1/2" PARTICLE BOARD UNDERLAMENT ON 3/4" PLYWOOD ON WOOD JOISTS ON (4) 2x4 PLATES (BOTTOM PLATE PRESSURE TREATED) ON CONC STRUCTURE (BY OTHERS) R19 RIGID INSUL.	SEE STRUCT FOR FINISH
22	3/4" GYPSUM ANG. ON 3/4" PLYWOOD ON WOOD JOISTS. 1/2" RESILIENT CHANNELS @ 24" O.C. 1 LAYER 9/8 GWB EA. SIDE W/ ACoustICAL BATTIS.	FG 3107 OR EQUIVALENT

THIRD FLOOR PLAN

FOR DIMENSIONS & NOTES IN COMMON REFER TO SECOND FLOOR PLAN, SHEET A2.3



35 SLIDING CLOSET DOOR HEAD 1/2" x 3/4" TRIM 1/2" GAP BELOW
 30 HEAD PAIR DOORS @ 2HR WALL 1/2" x 1/2" TRIM
 25 DOOR RECESS @ PAIR DOORS 3 1/2" TO DOOR FACE 1/2" GAP 1/2" x 1/2" TRIM
 20 PAIR DOORS @ 2HR AREA SEP 1/2" x 1/2" TRIM

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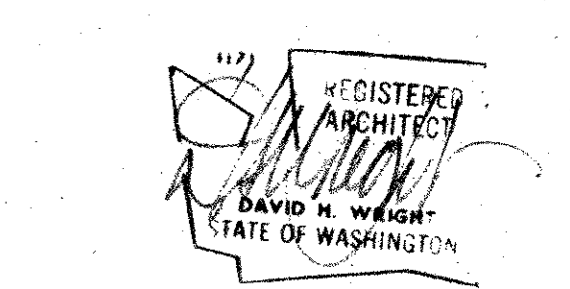
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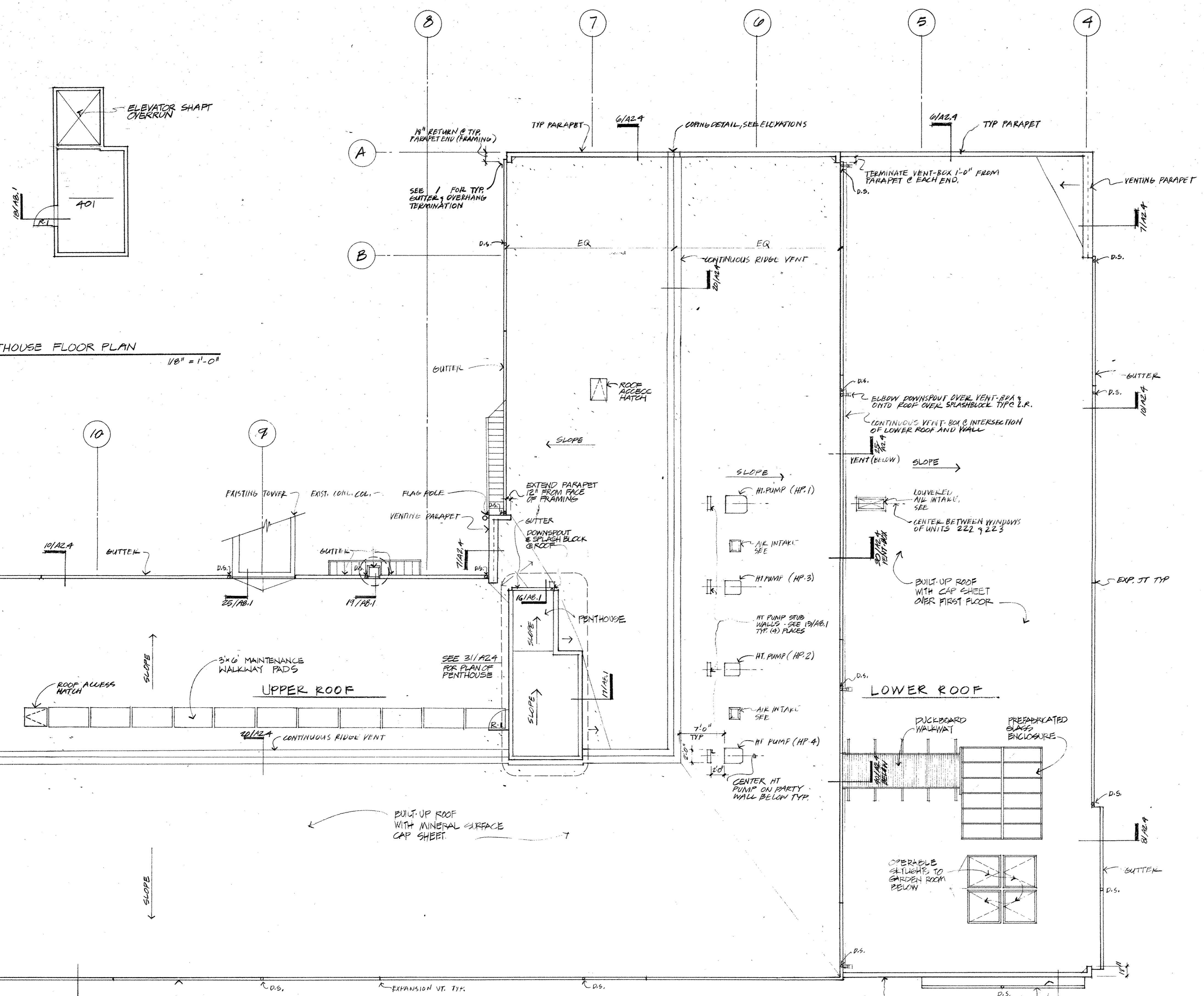
THIRD FLOOR PLAN
 PARTITION SCHEDULE
 FINISH SCHEDULE

A2.3

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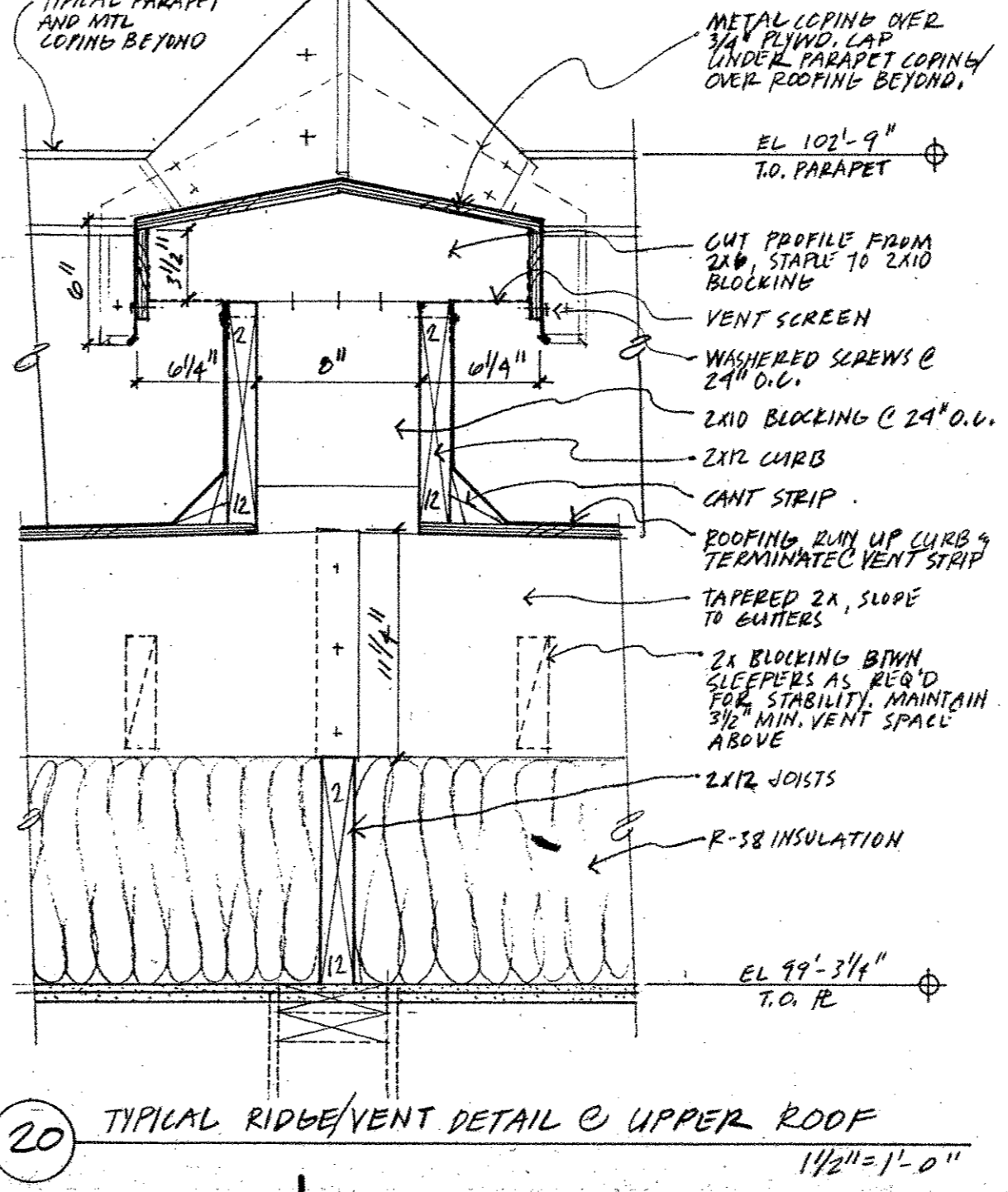
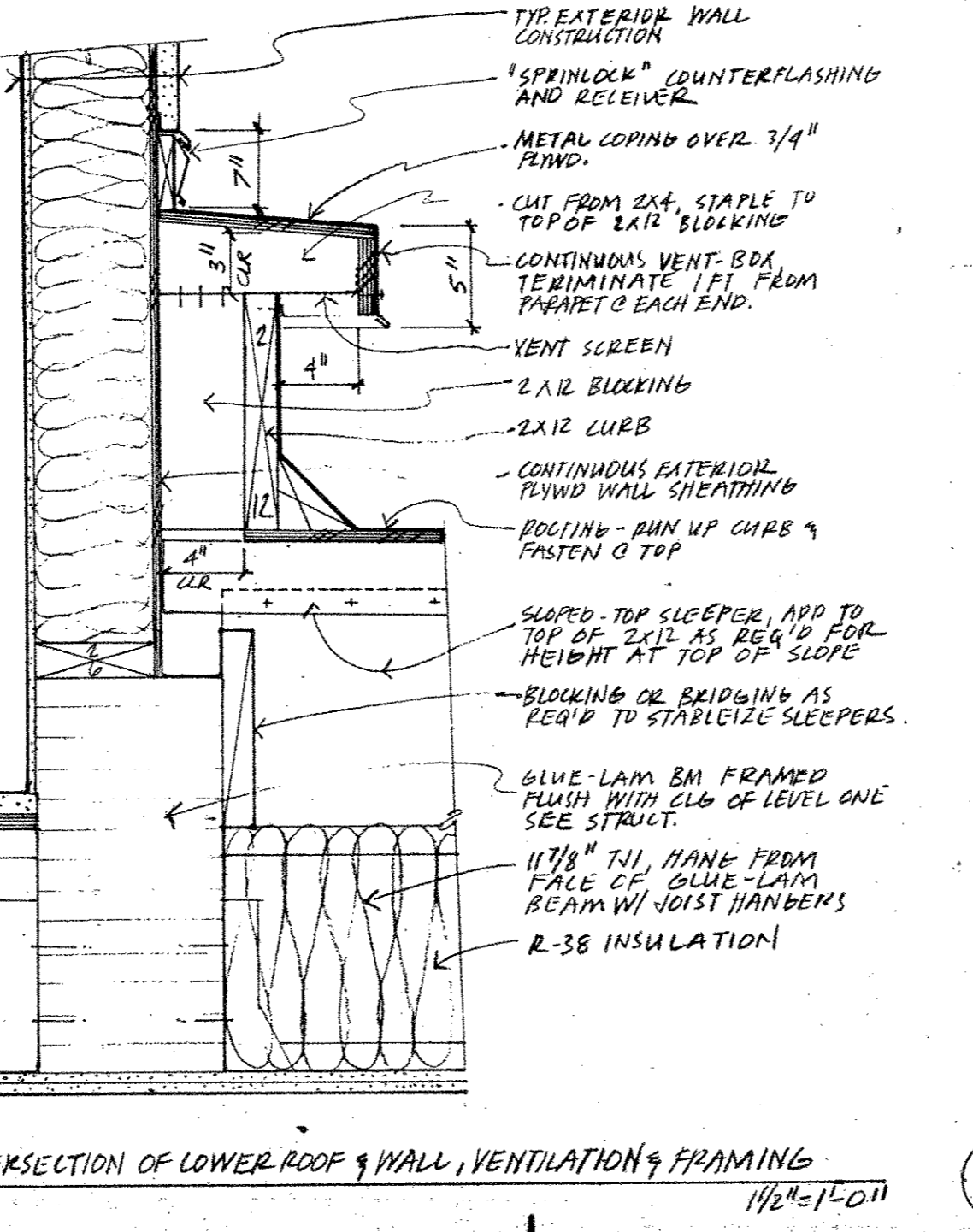
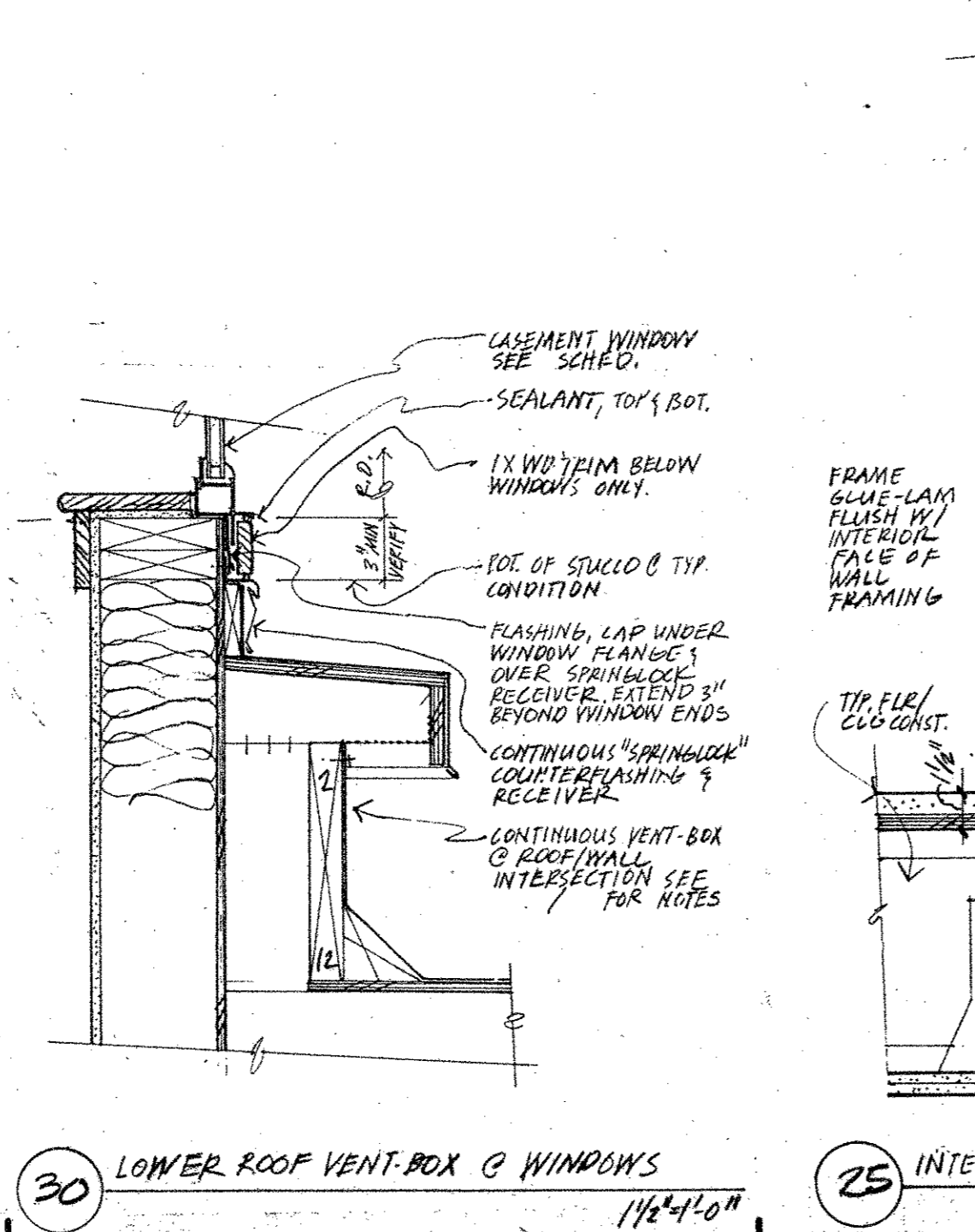
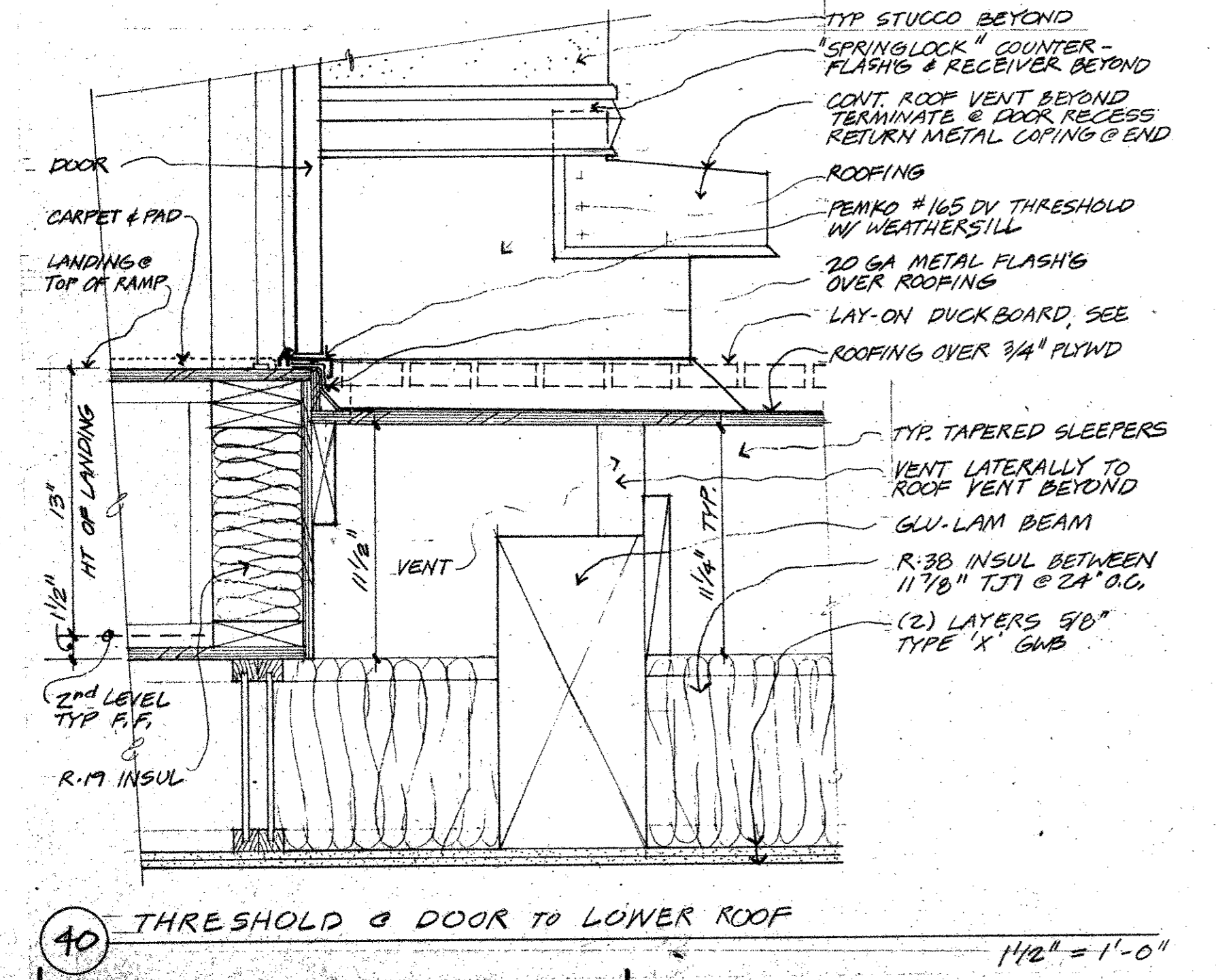
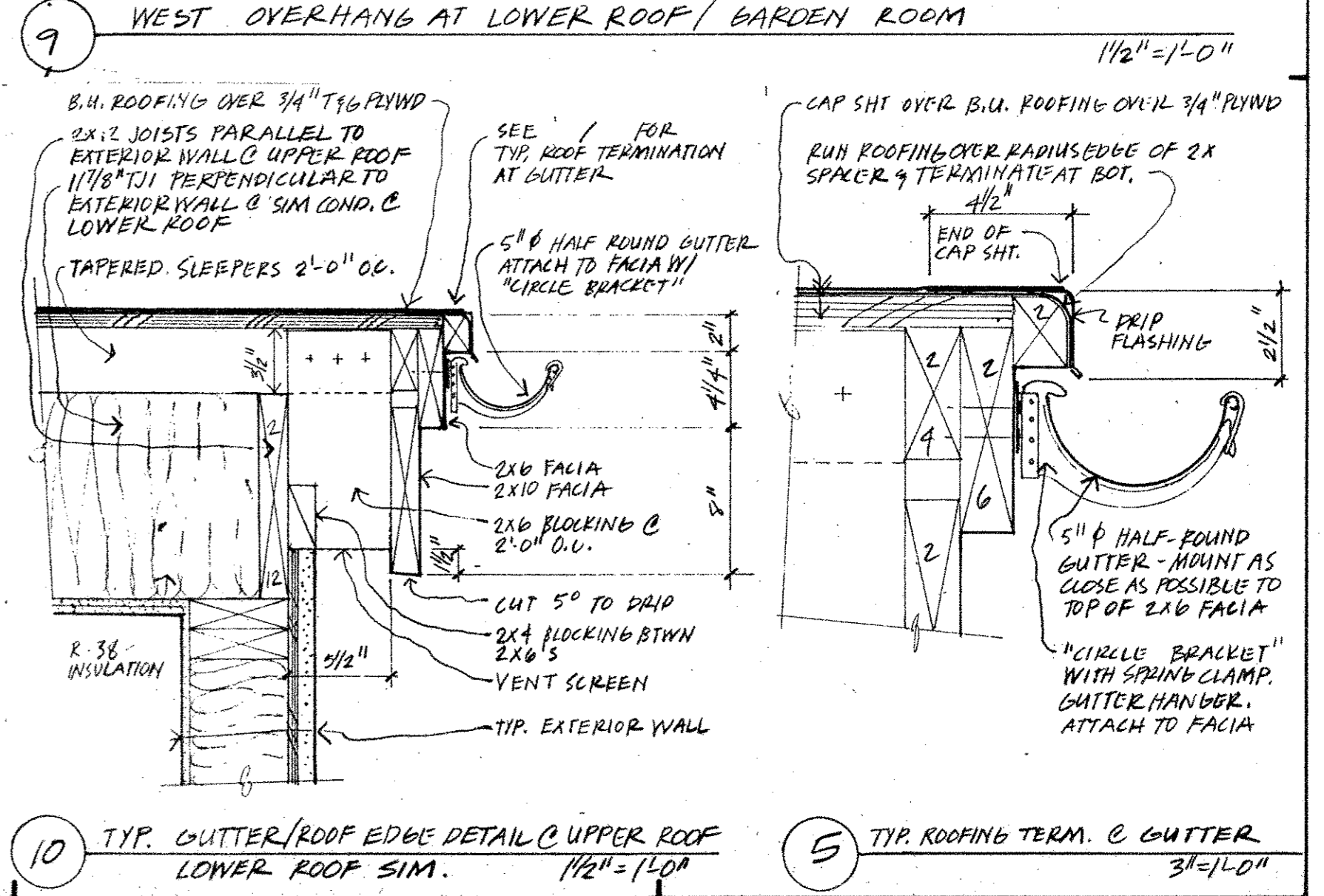
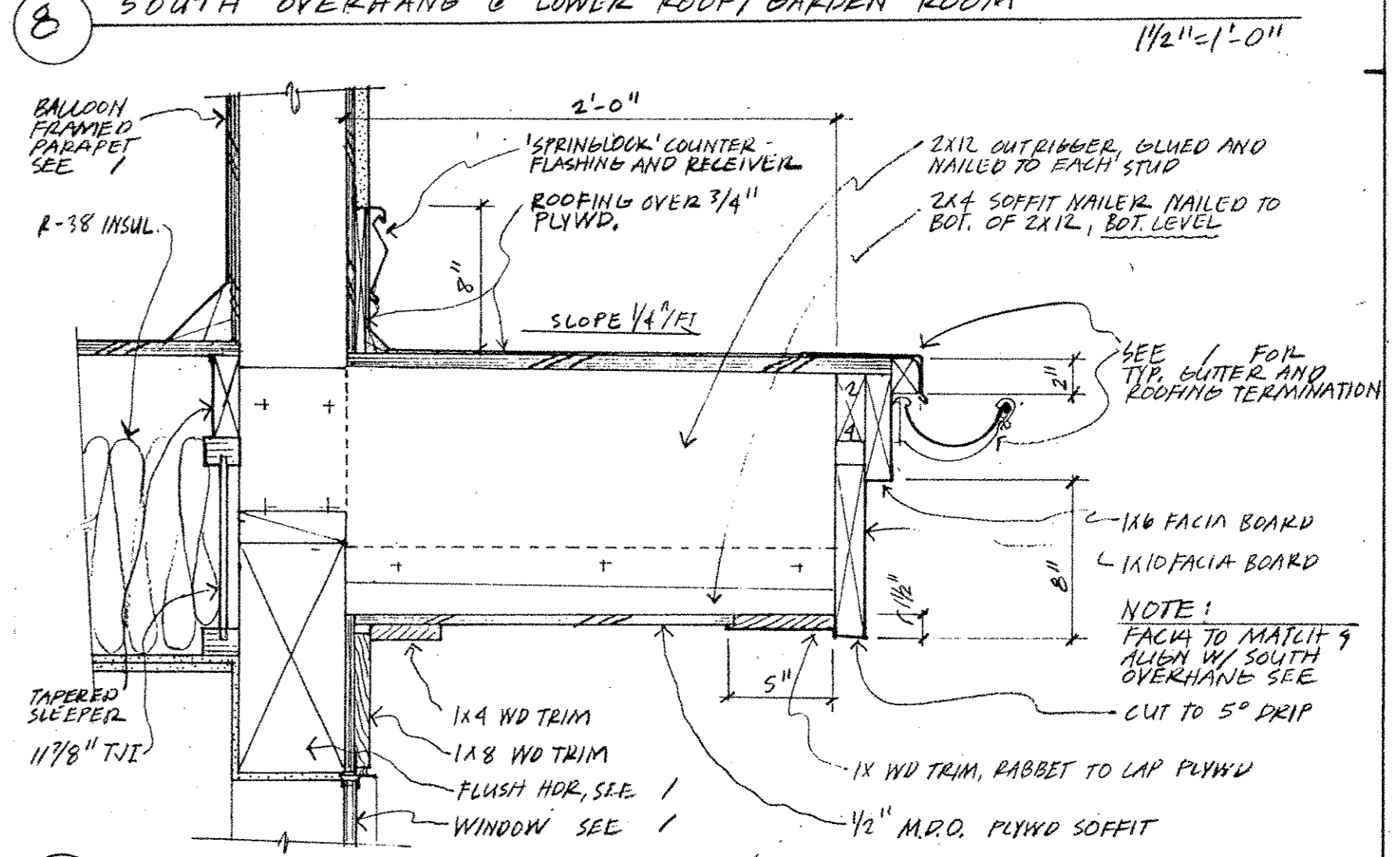
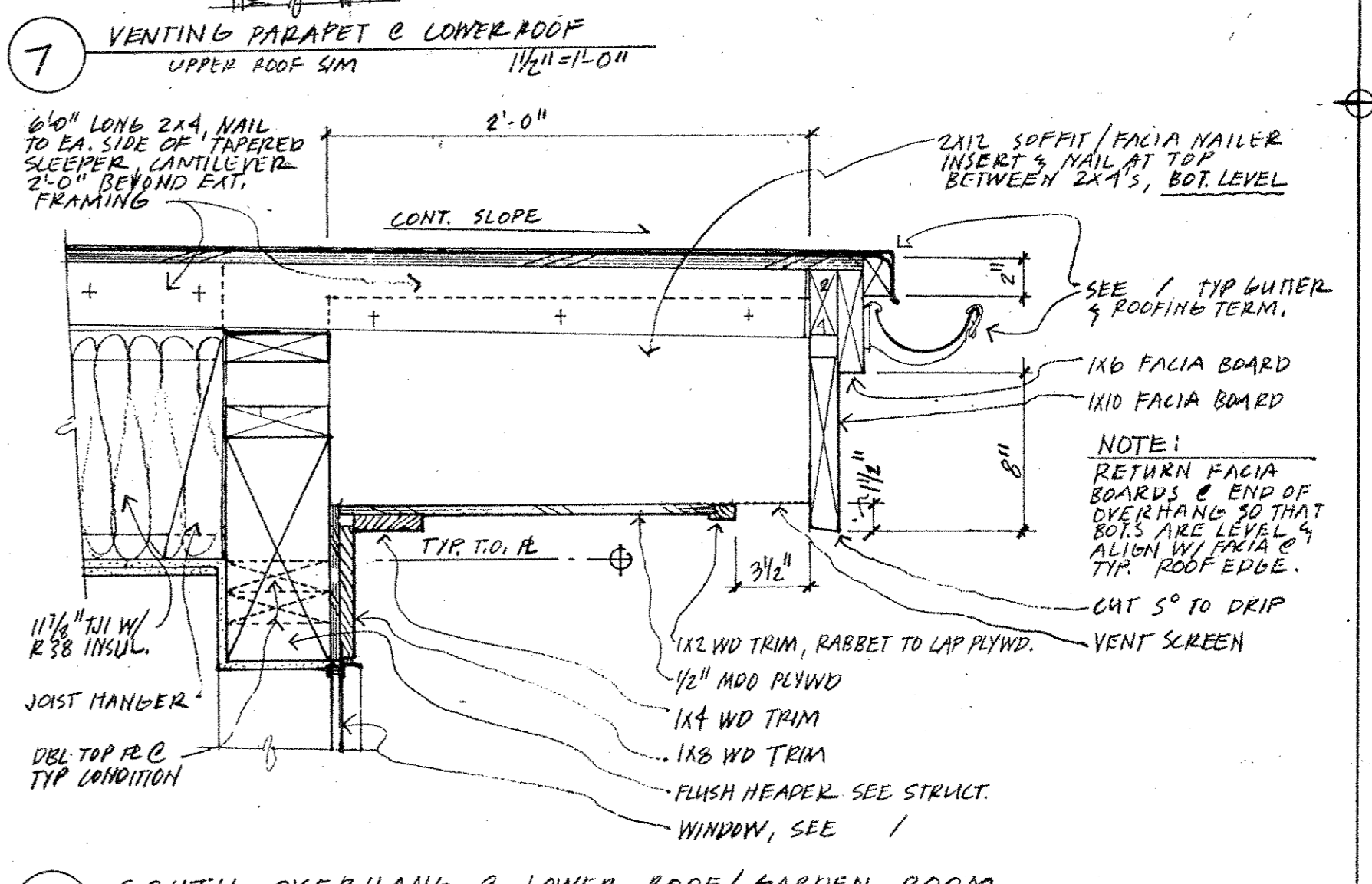
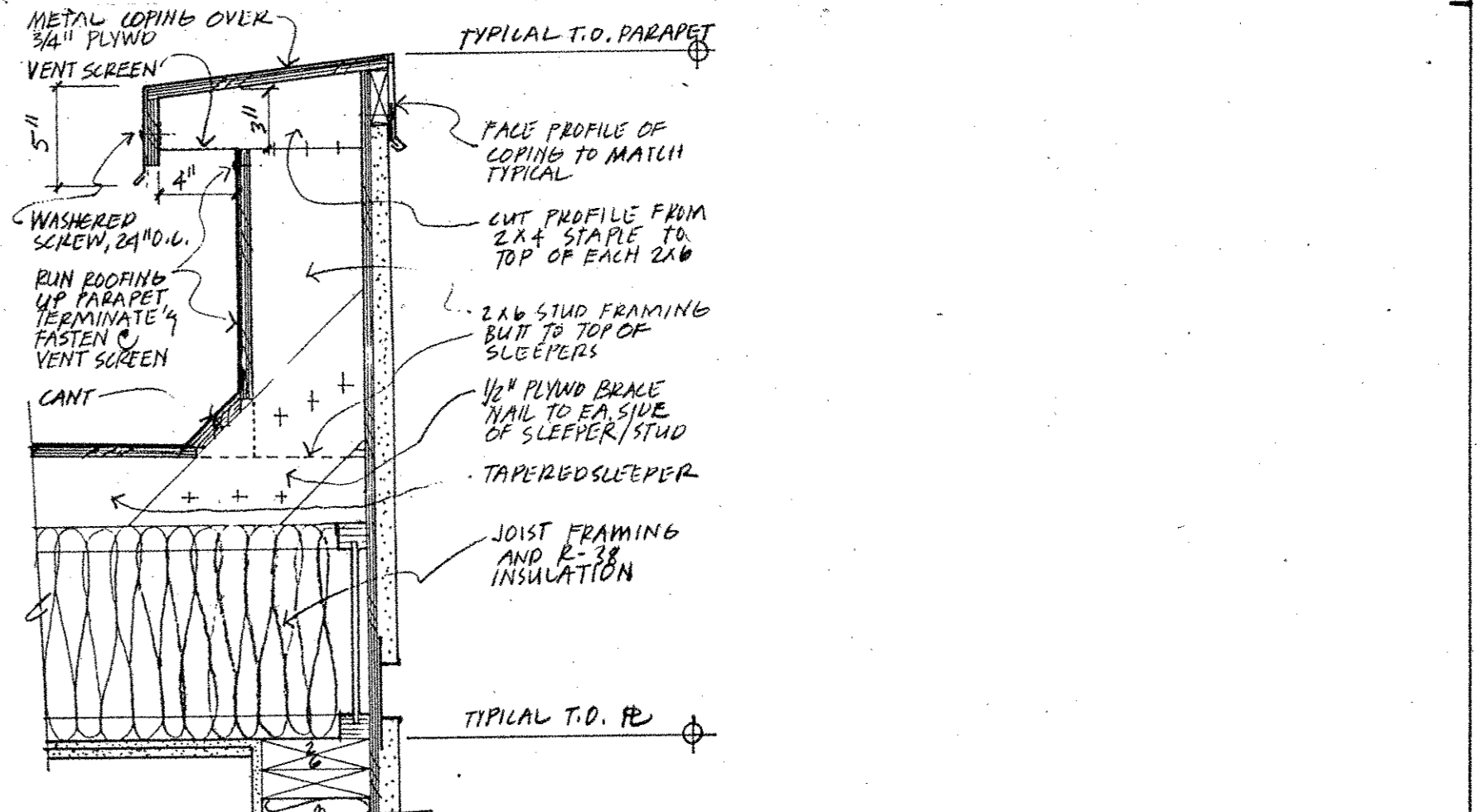
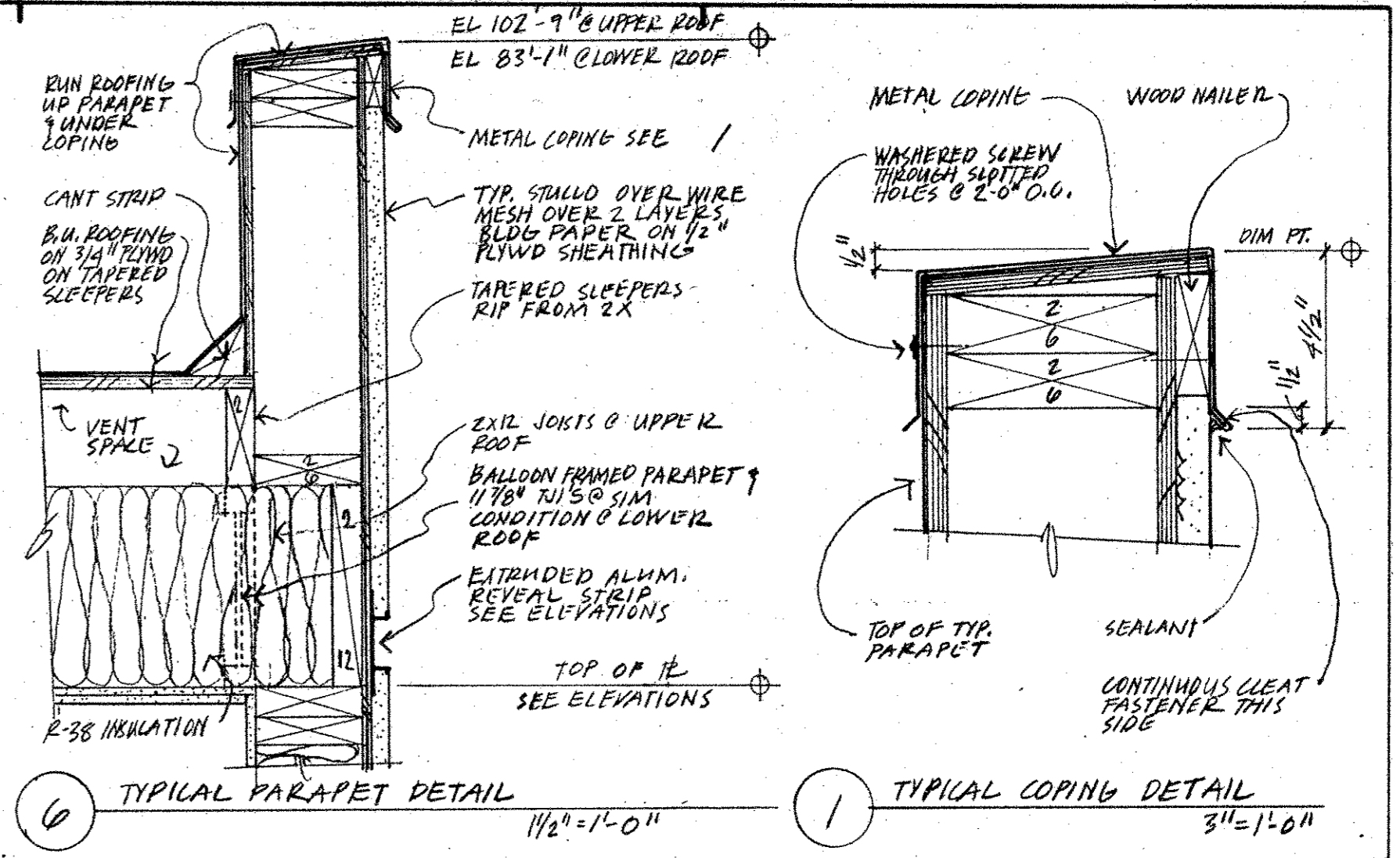
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31 PENTHOUSE FLOOR PLAN
 1/8" = 1'-0"

ROOF PLAN
 1/8" = 1'-0"

NOTE: DOWNSPOUTS ARE 4" Ø TYPICALLY. SEE ELEVATIONS FOR EXACT LOCATIONS & CONNECTIONS. EXPANSION JT. LOCATIONS ARE APPROXIMATE ONLY.



10 TYP. GUTTER/ROOF EDGE DETAIL @ UPPER ROOF LOWER ROOF SIM.
 1/2" = 1'-0"

5 TYP. ROOFING TERM. @ GUTTER
 3/4" = 1'-0"

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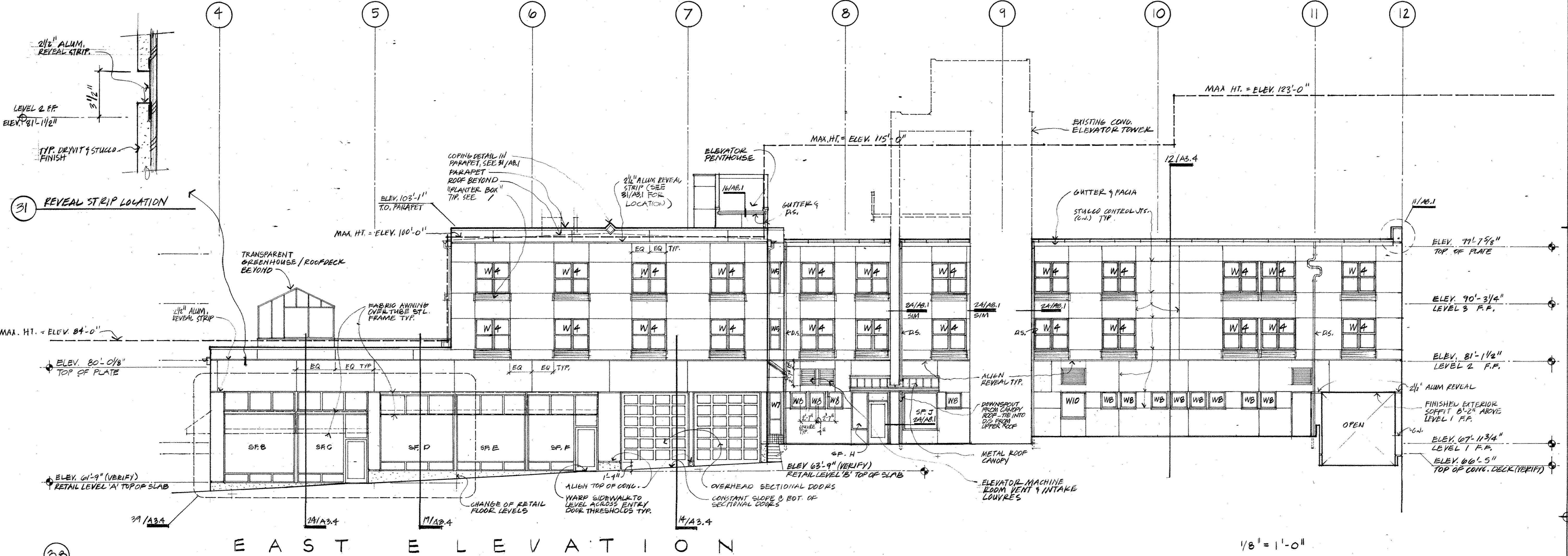
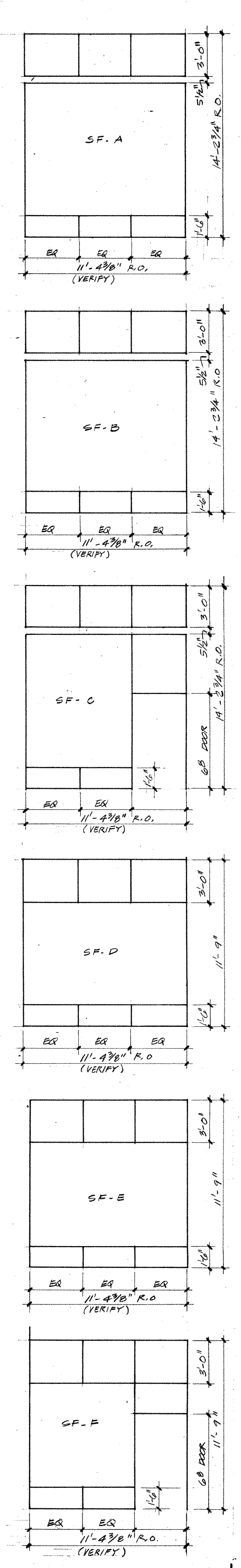
Project No 1114.01

ROOF PLAN
 ROOF DETAILS

A2.4

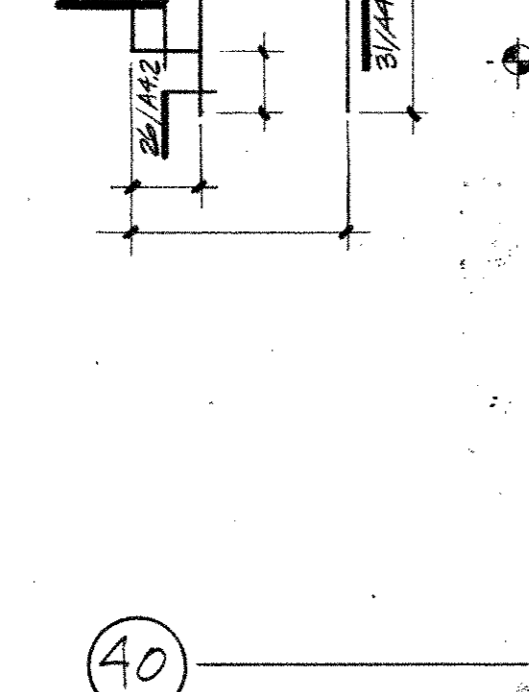
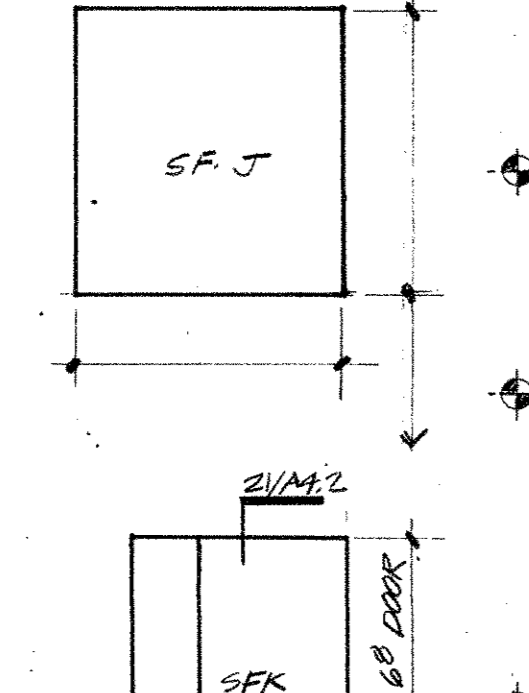
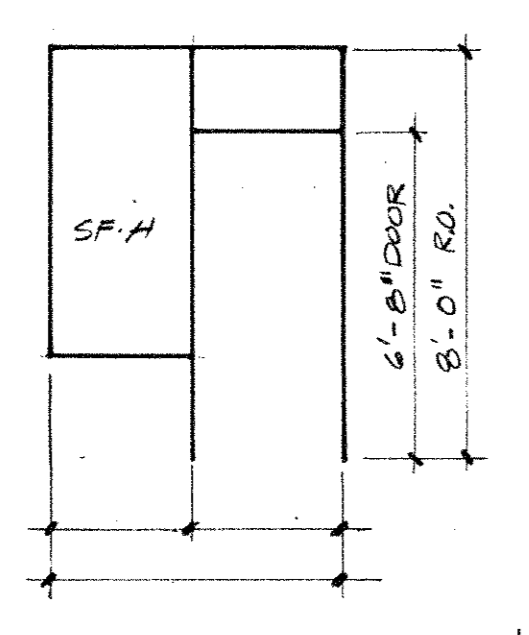
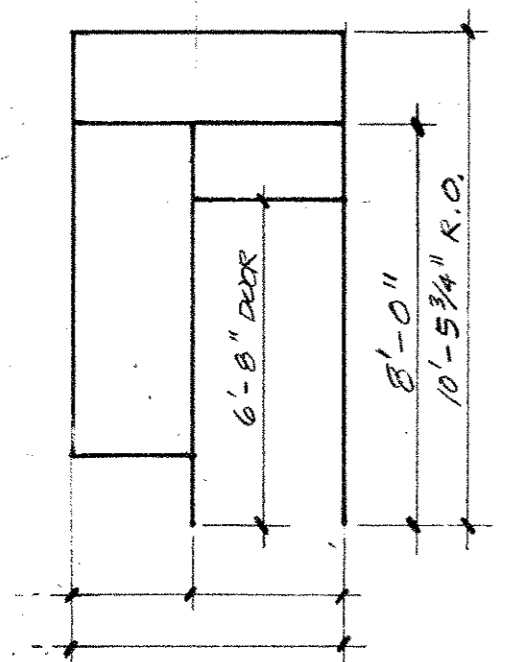
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STOREFRONT SCHEDULE

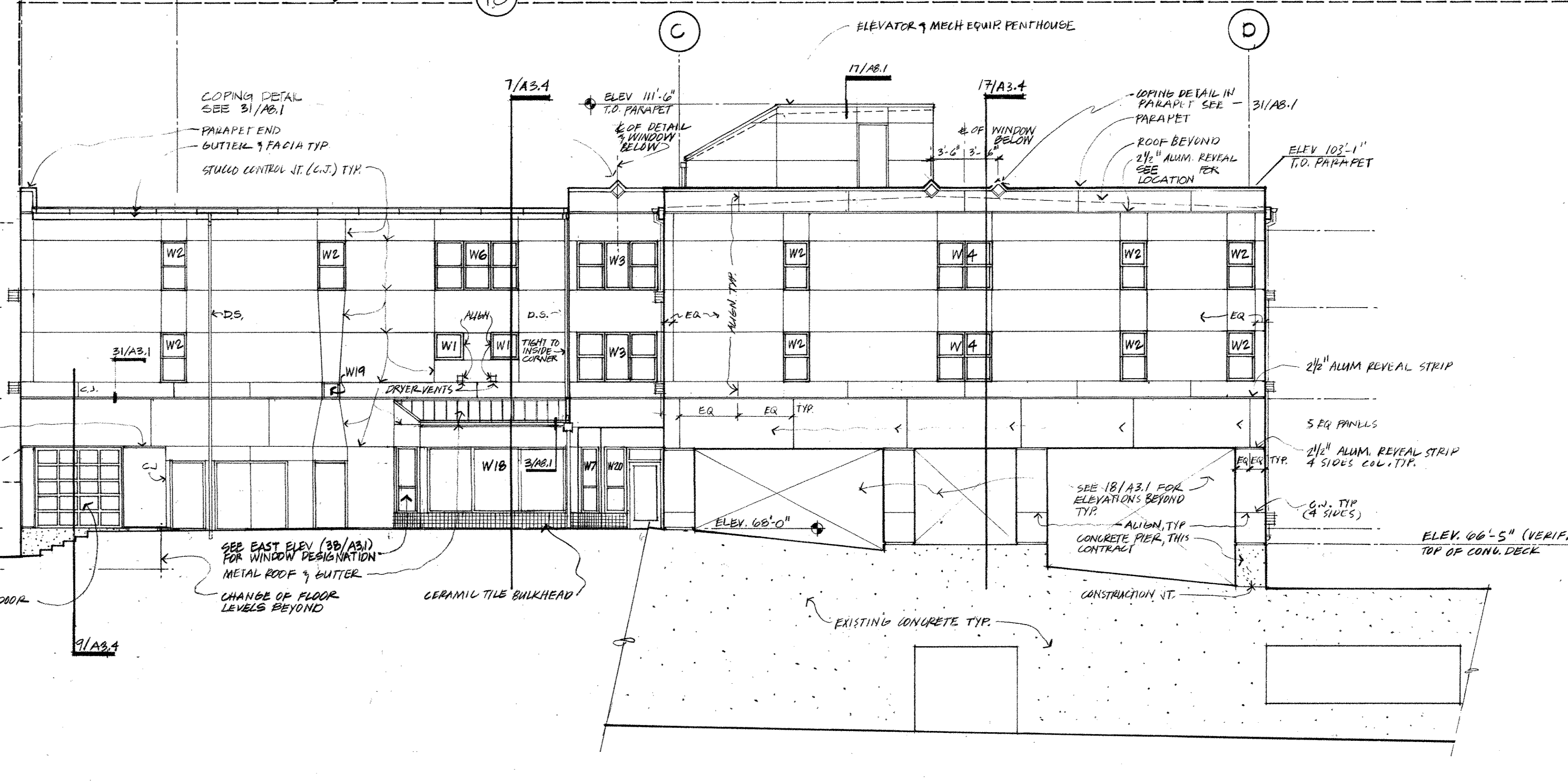


EAST ELEVATION

31



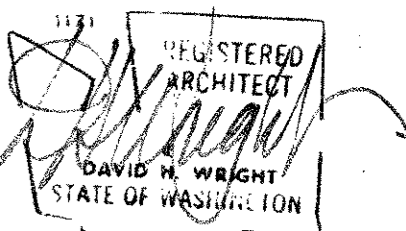
DRIVE-THRU ELEVATION, NORTH



NORTH ELEVATION

30

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No	Revisions	Date

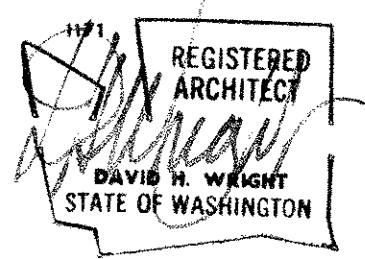
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EAST ELEVATION
NORTH ELEVATION

A3.1

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by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

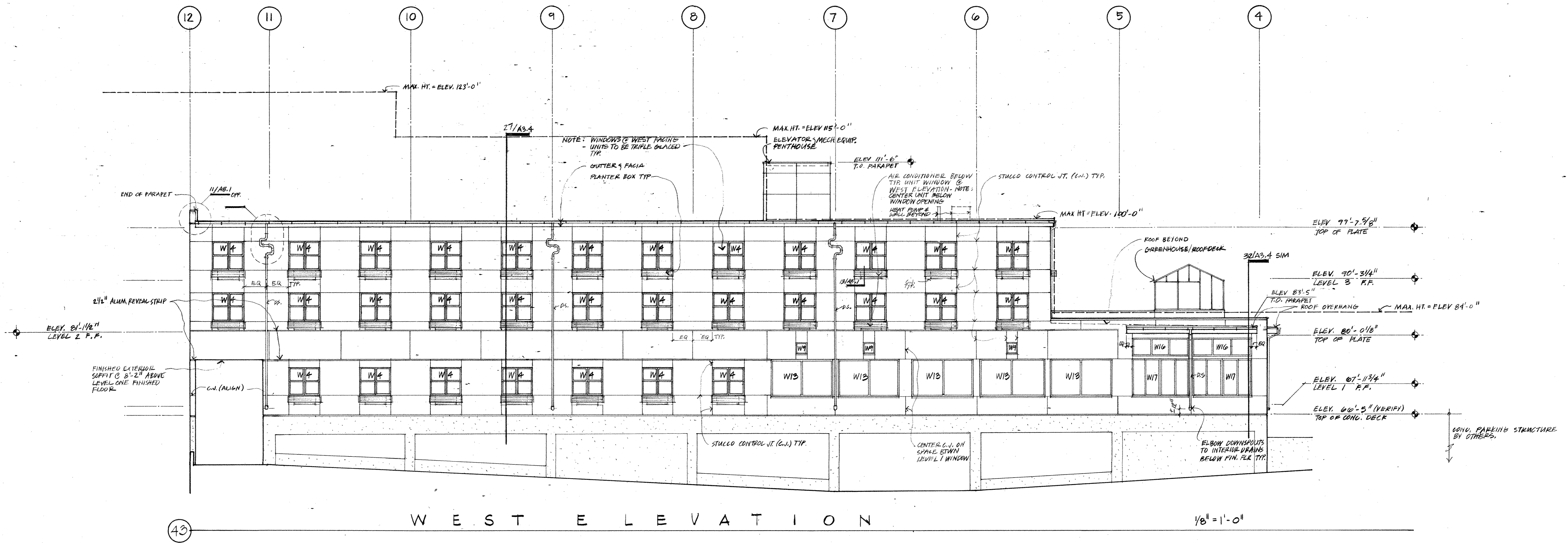
No	Revisions	Date

Date 10 OCT 88 - MWP
Drawn by
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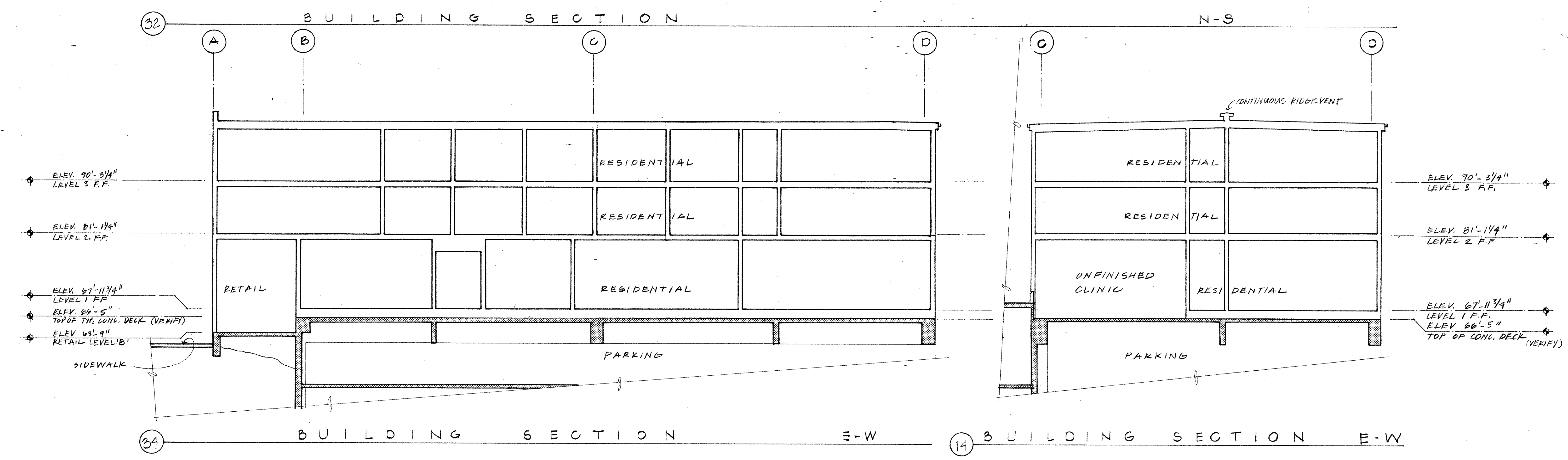
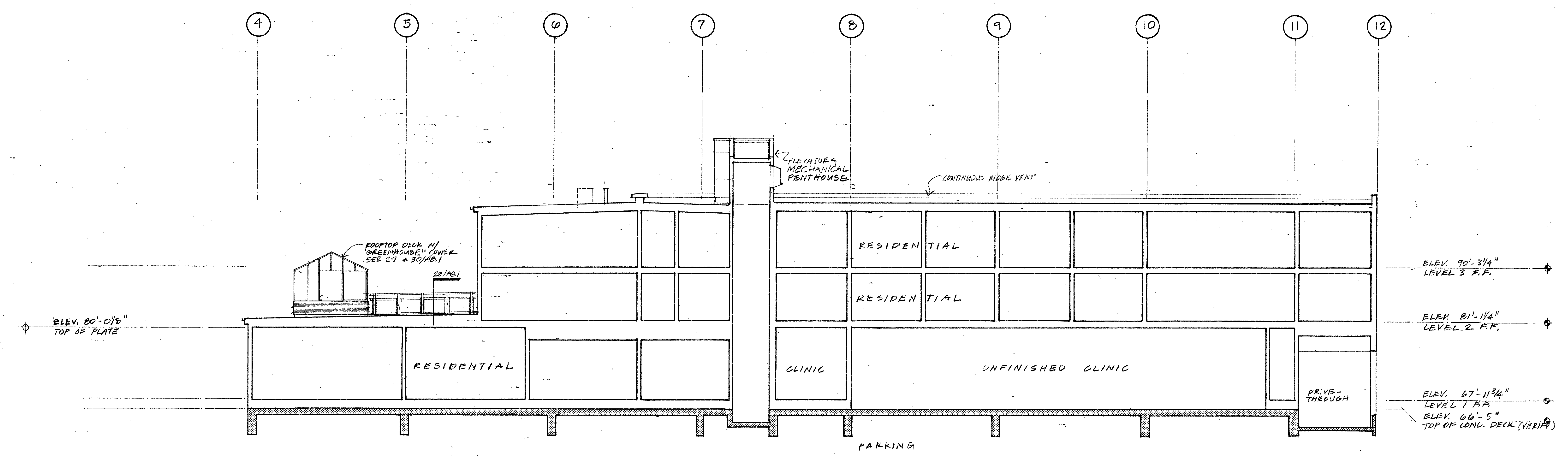
Project No 1114.01

WEST ELEVATION
SOUTH ELEVATION

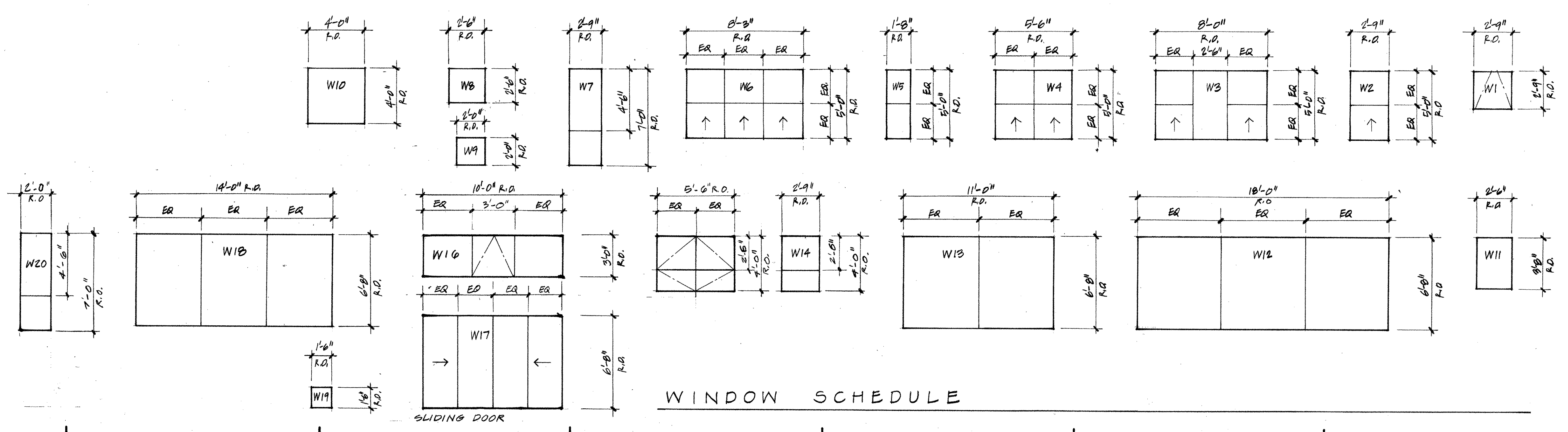
A3.2



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



WINDOW CALCULATIONS	
FLOOR AREA:	
FIRST FLOOR D-2	4,845 SF
FIRST FLOOR R-1	11,383 SF
SECOND FLOOR R-1	12,463 SF
THIRD FLOOR R-1	12,465 SF
	41,358 SF
WINDOW & DOOR AREA:	
NORTH	577.2 SF
SOUTH	846.1 SF
EAST	700.0 SF
WEST	507.6 SF
SKYLIGHT	81.0 SF
	2630.9 SF
CALCULATION:	
2630.9 SF / 41,358 SF = .063	
6.3% < 21% O.K.	
NOTES:	
1. ALL RESIDENTIAL WINDOWS TO BE GLASS GO	
2. ALL STOREFRONTS AND COMMERCIAL WINDOWS TO BE DOUBLE-GLAZED	



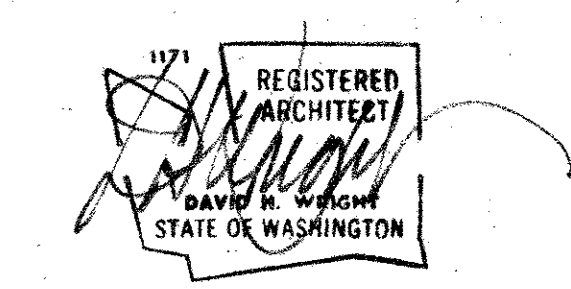
WINDOW SCHEDULE

No	Revisions	Date

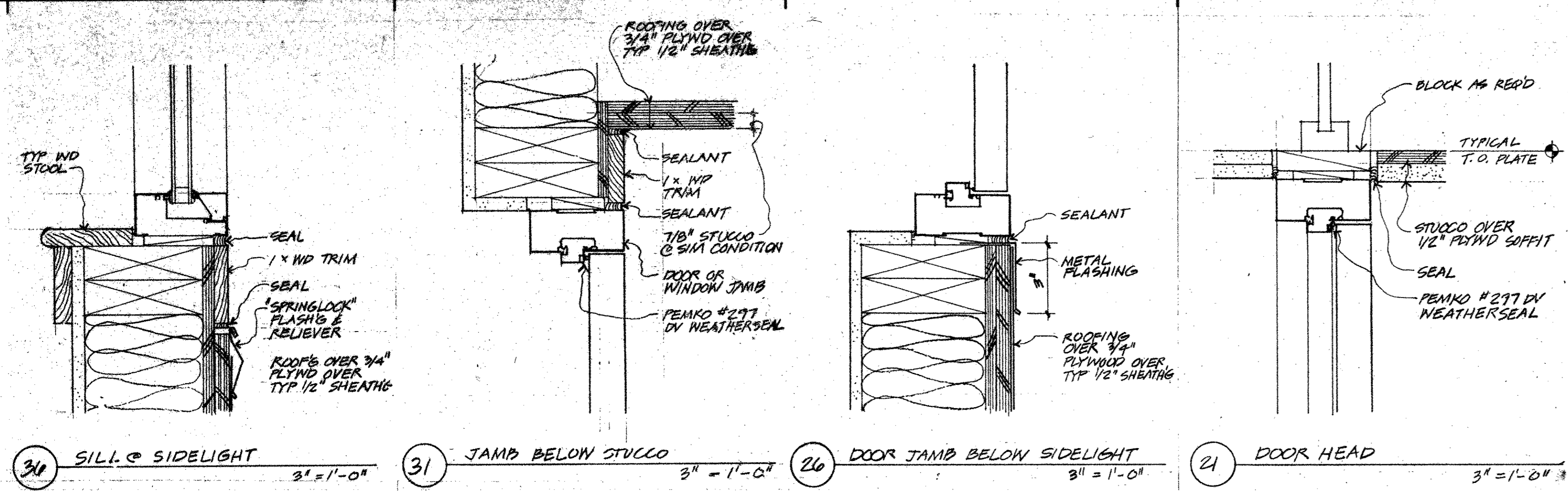
Date 10 OCT 88 - MUP
Drawn by
Checked by

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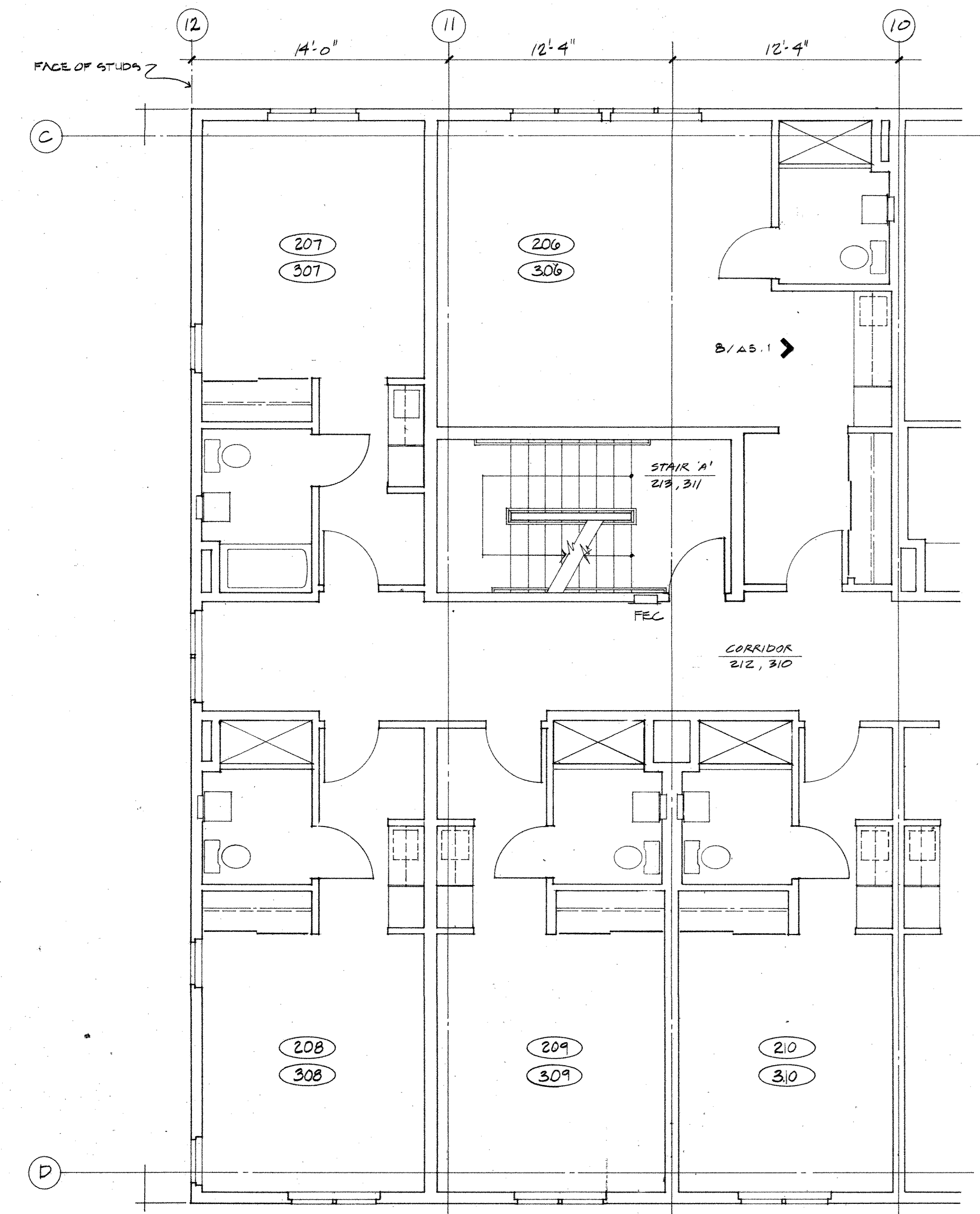
THE BUMGARDNER ARCHITECTS
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101 STEWART STREET
SUITE 200
SEATTLE, WASHINGTON 98101
206-223-1361



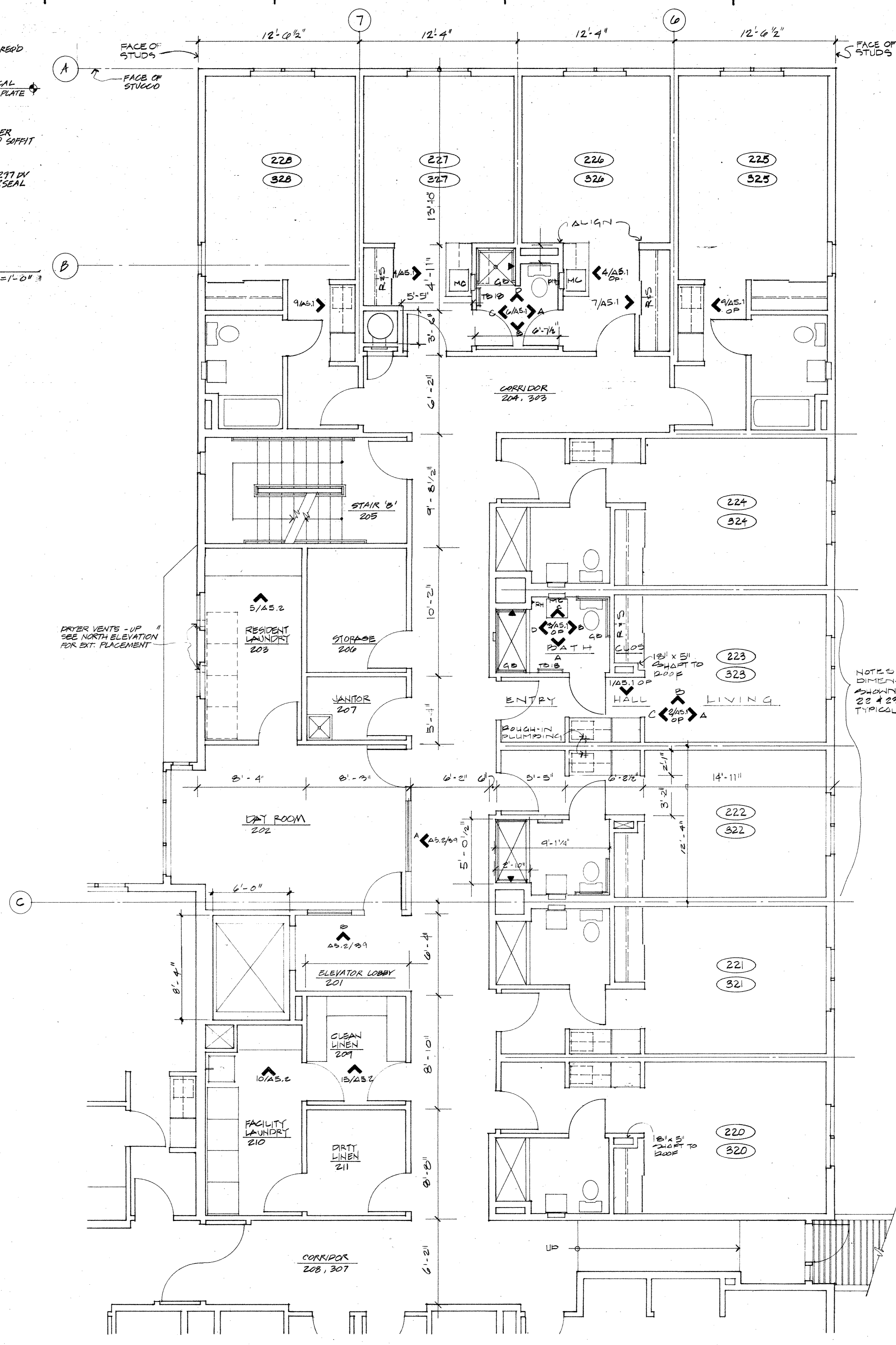
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



34 SILL & SIDELIGHT 3/4" = 1'-0"
31 JAMB BELOW STUCCO 3/8" = 1'-0"
26 DOOR JAMB BELOW SIDELIGHT 3/8" = 1'-0"
21 DOOR HEAD 3/4" = 1'-0"



40 LEVEL 2 & 3 FLOOR PLAN - NORTH END
1/4" = 1'-0"
NOTE: REFER TO 20/24.2, UNITS 22 & 23 FOR NOTES & DIMENSIONS IN COMMON



20 LEVEL 2 FLOOR PLAN - CENTRAL AREA (LEVEL 2 & 3 EAST END)
1/4" = 1'-0"

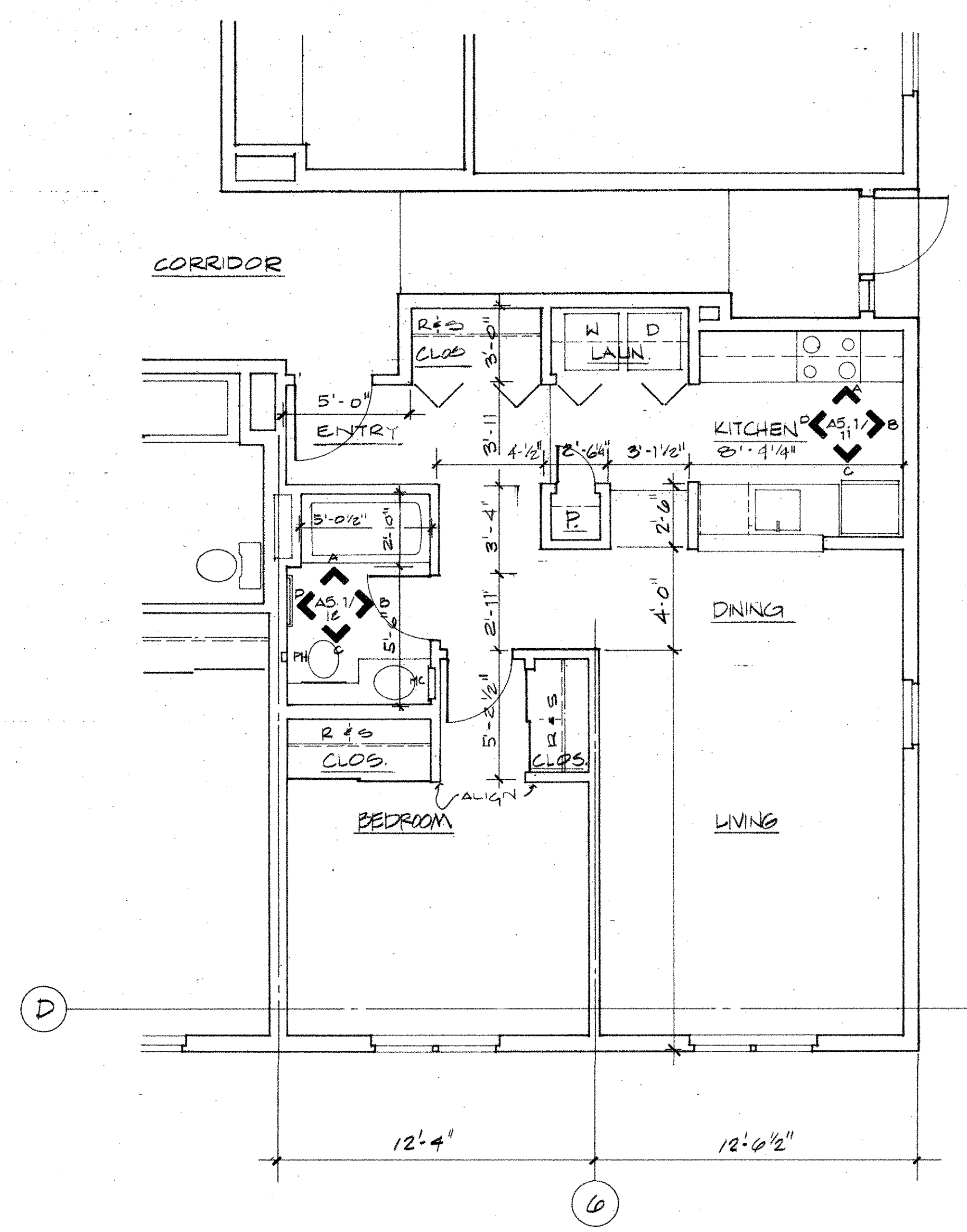
NOTES AND DIMENSIONS SHOWN IN UNITS 22 & 23 ARE TYPICAL U.N.I.T.

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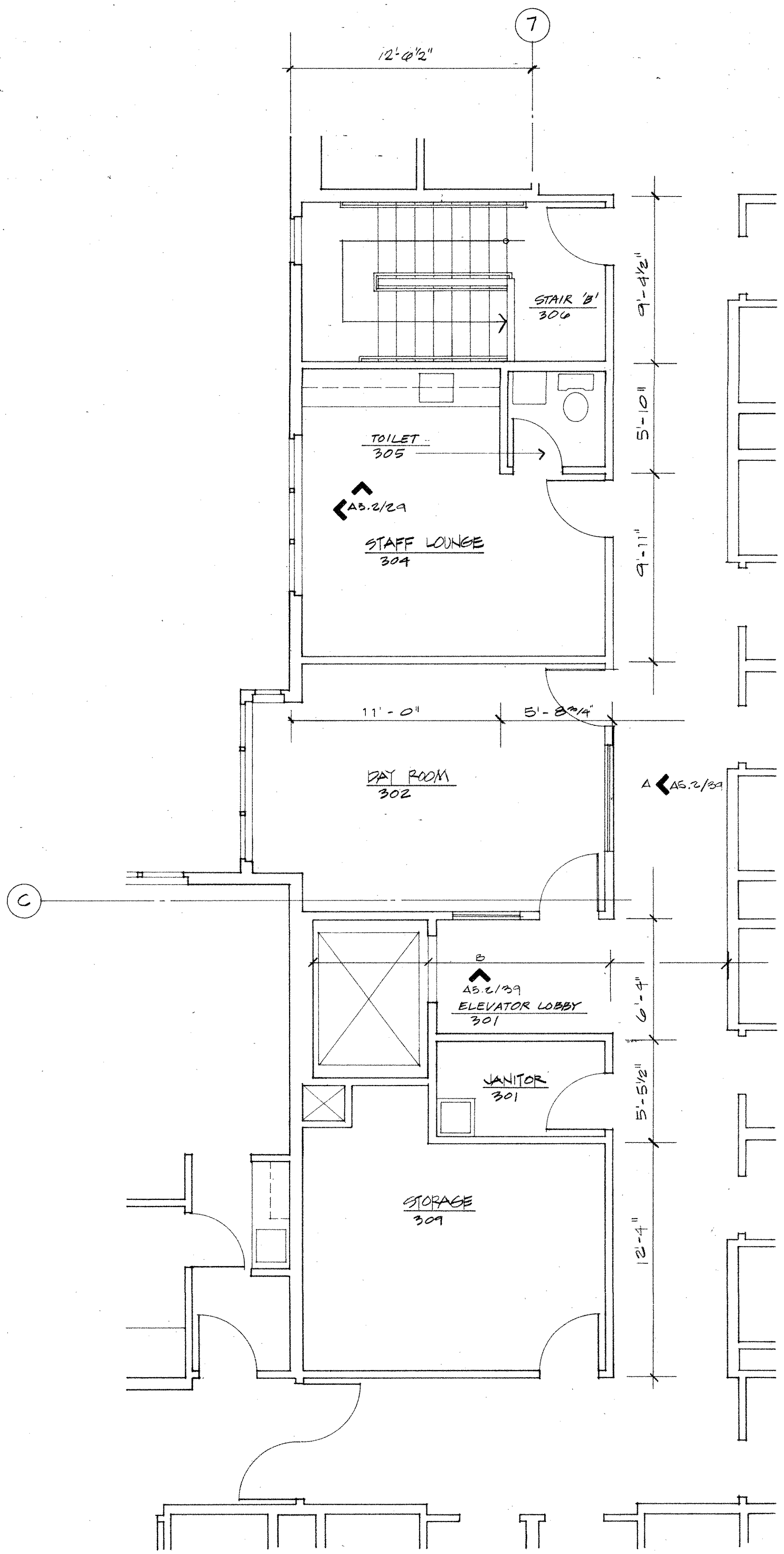
No.	Revisions	Date

Project No 1114.01

ENLARGED
LEVEL 2 & 3 PLANS

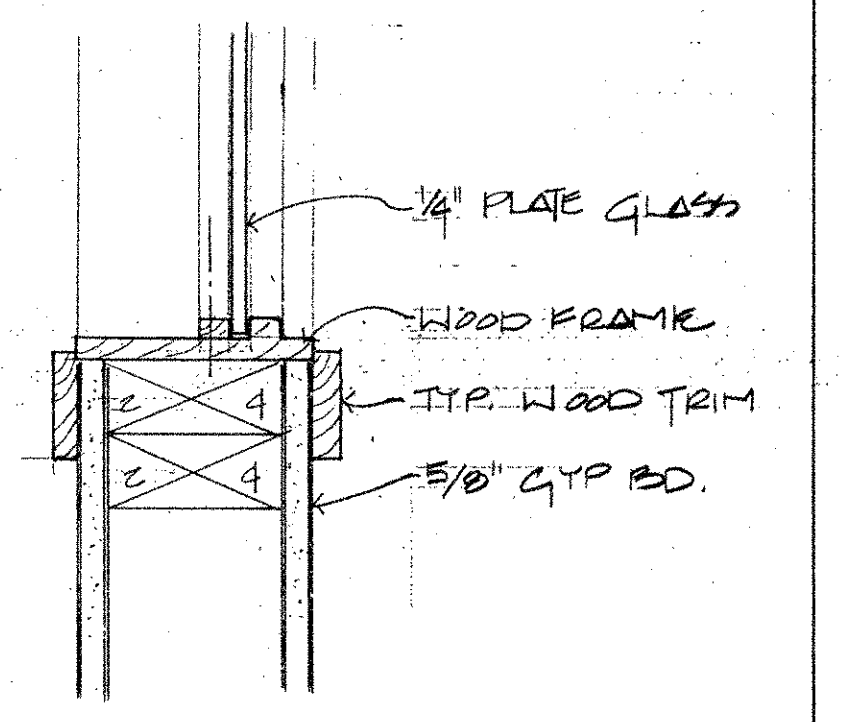


33 LEVEL 2 FLOOR PLAN - SOUTHWEST CORNER
1/4" = 1'-0"
(1 BQ. APARTMENT)

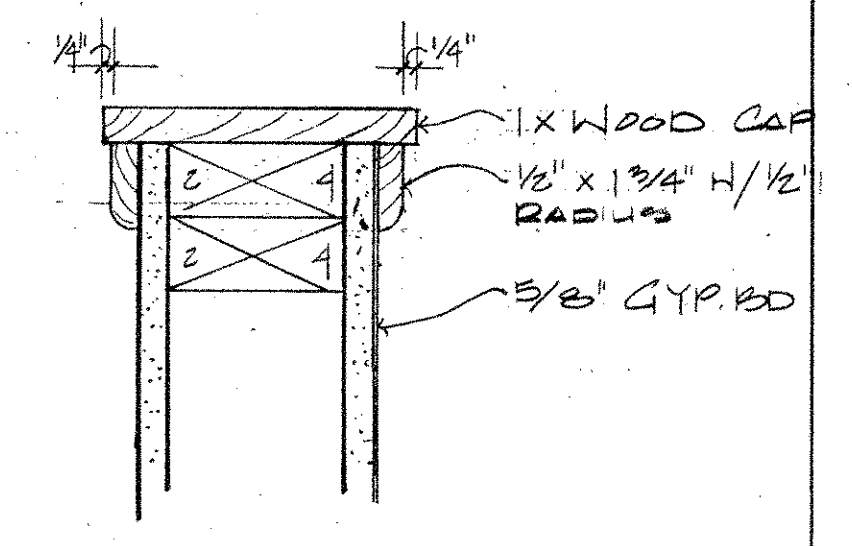


20 LEVEL 3 FLOOR PLAN - CENTRAL AREA
1/4" = 1'-0"

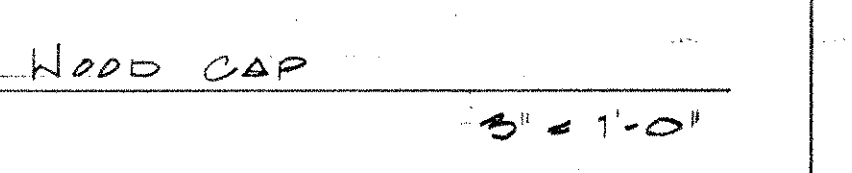
1 INTERIOR WINDOW HEAD/JAMB & CORRIDOR - RATED 20 MIN 1/4" = 1'-0"



2 INTERIOR WINDOW HEAD/JAMB NON-RATED 3/4" = 1'-0"



3 WOOD CAP 3/4" = 1'-0"



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
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No	Revisions	Date

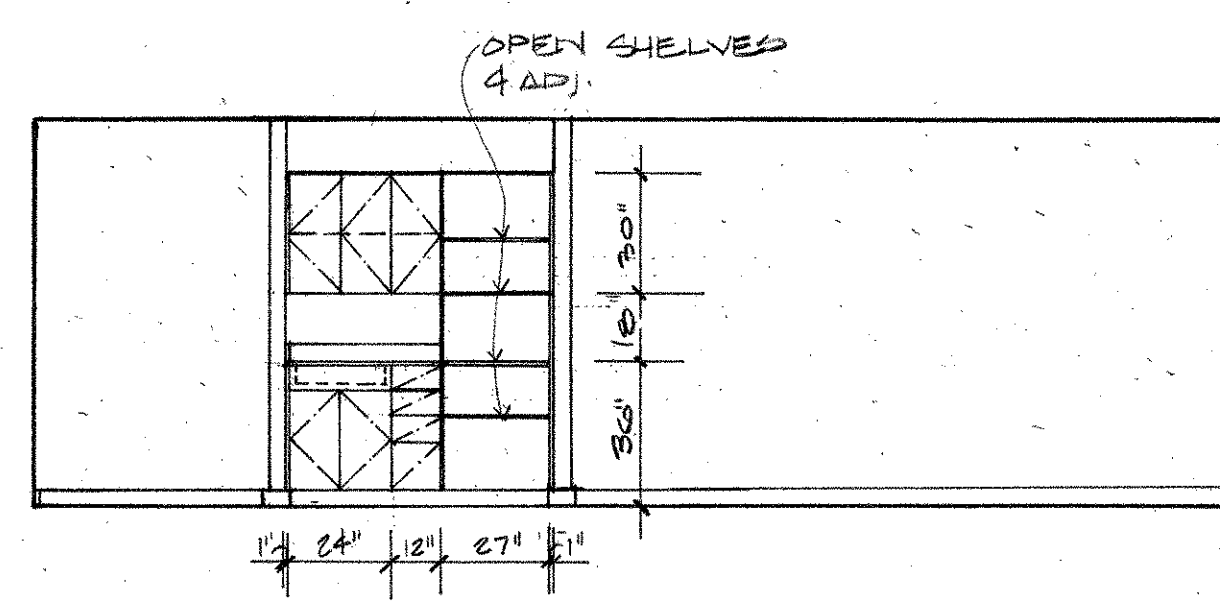
Project No 1114.01

ENLARGED
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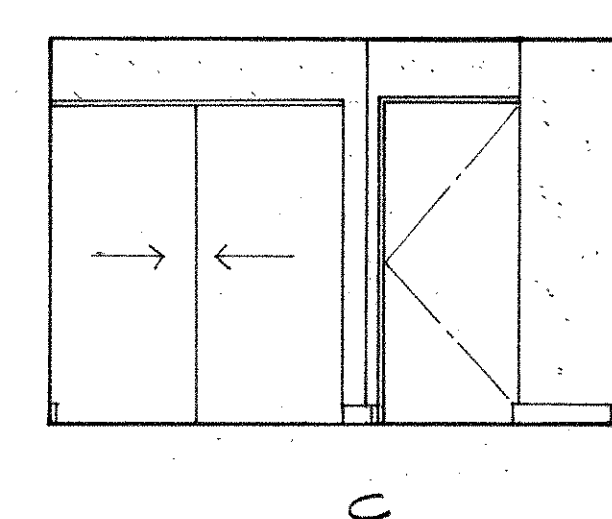
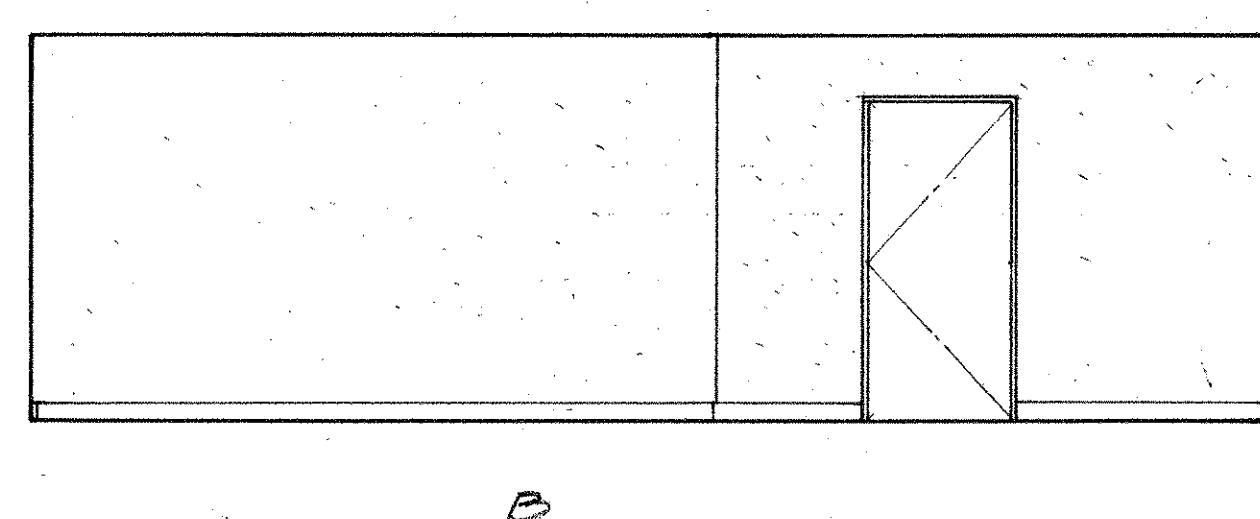
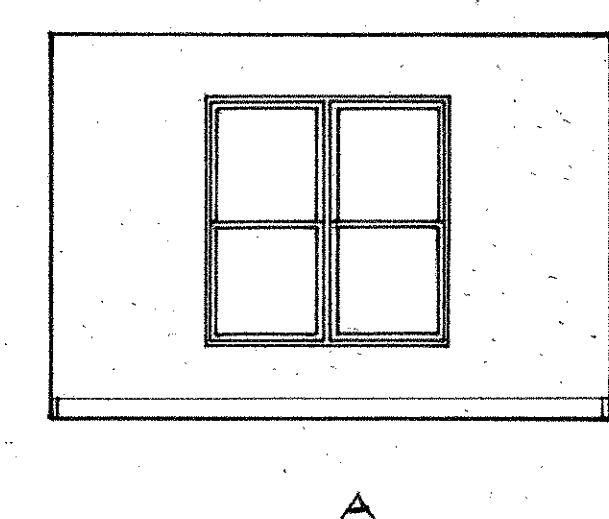
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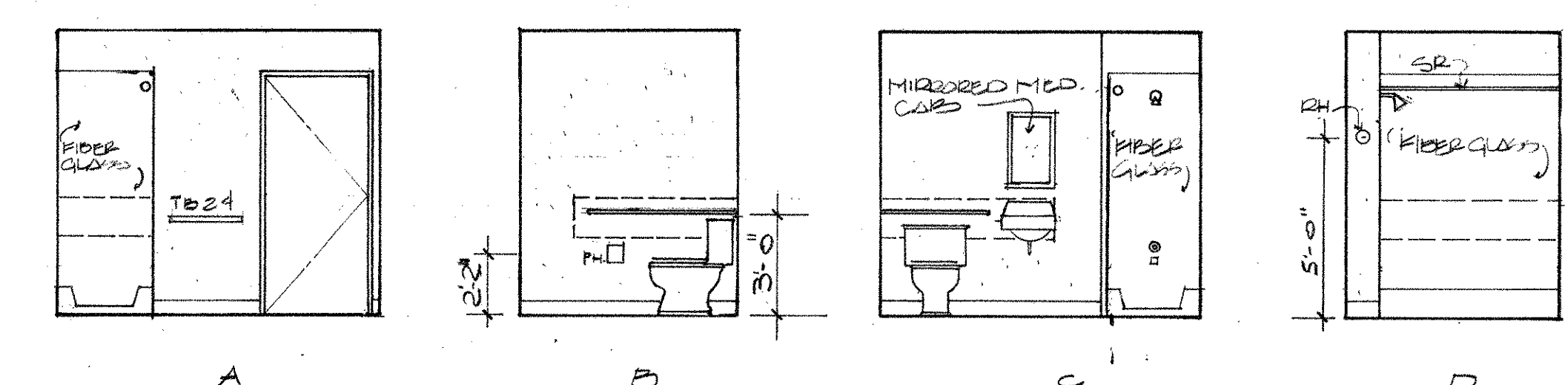
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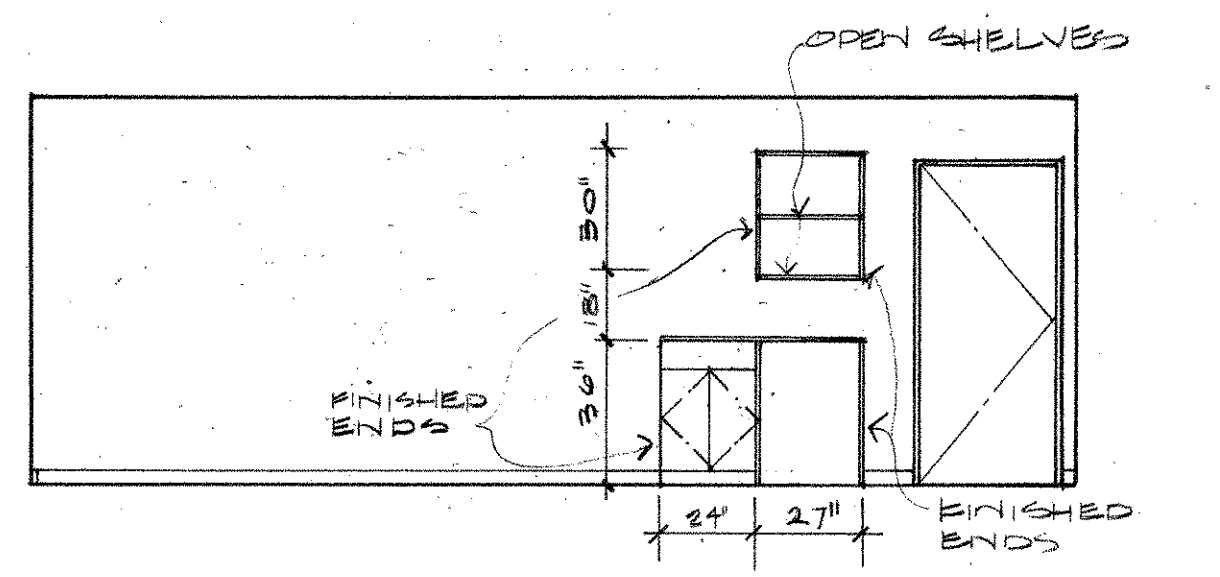
1 TYPICAL WORK AREA ELEVATION



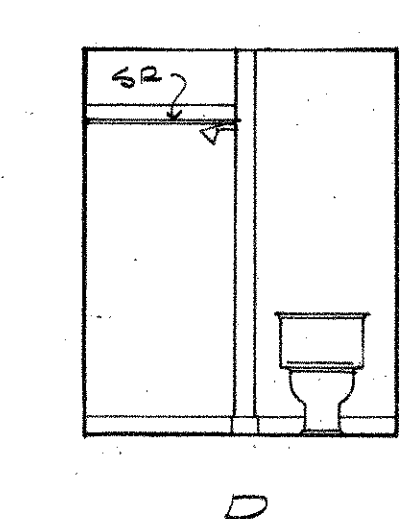
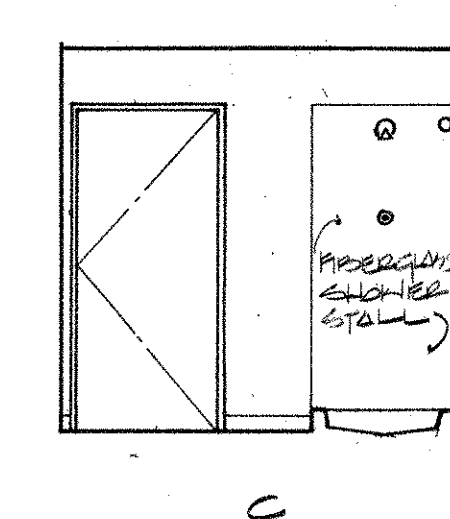
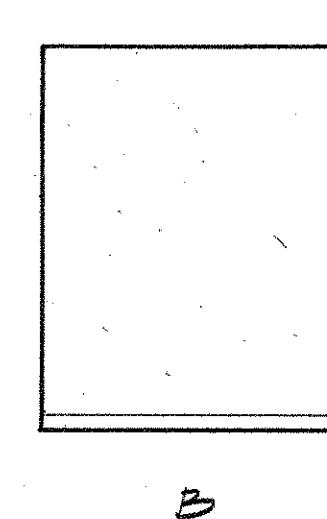
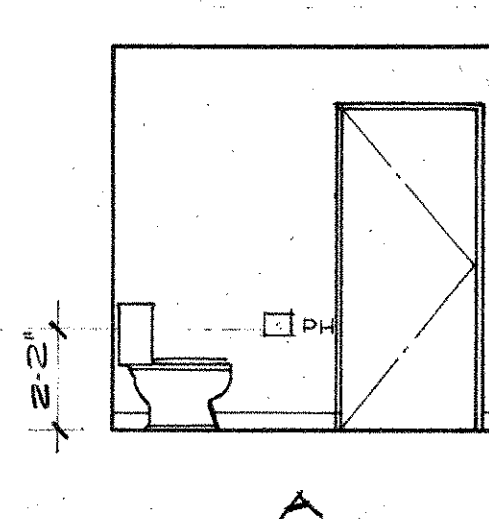
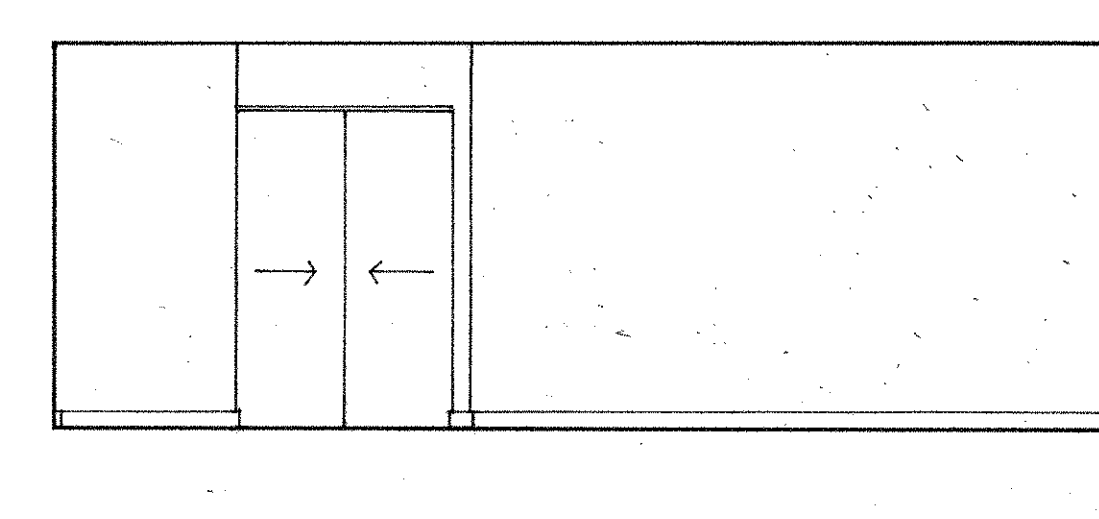
2 TYPICAL RESIDENTIAL UNIT INTERIOR ELEVATIONS



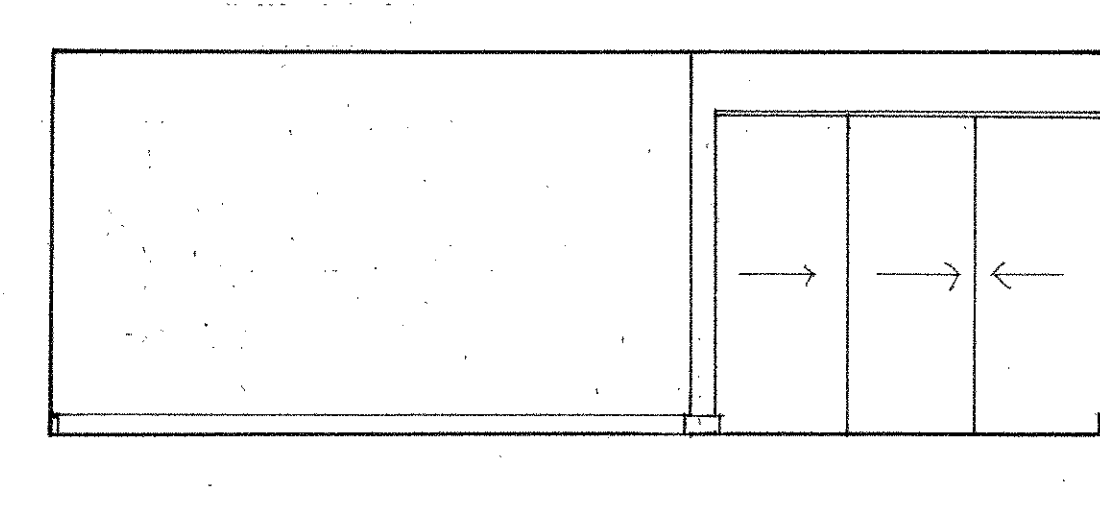
3 INTERIOR ELEVATIONS - TYPICAL UNIT BATHROOMS - LEVELS 2 & 3



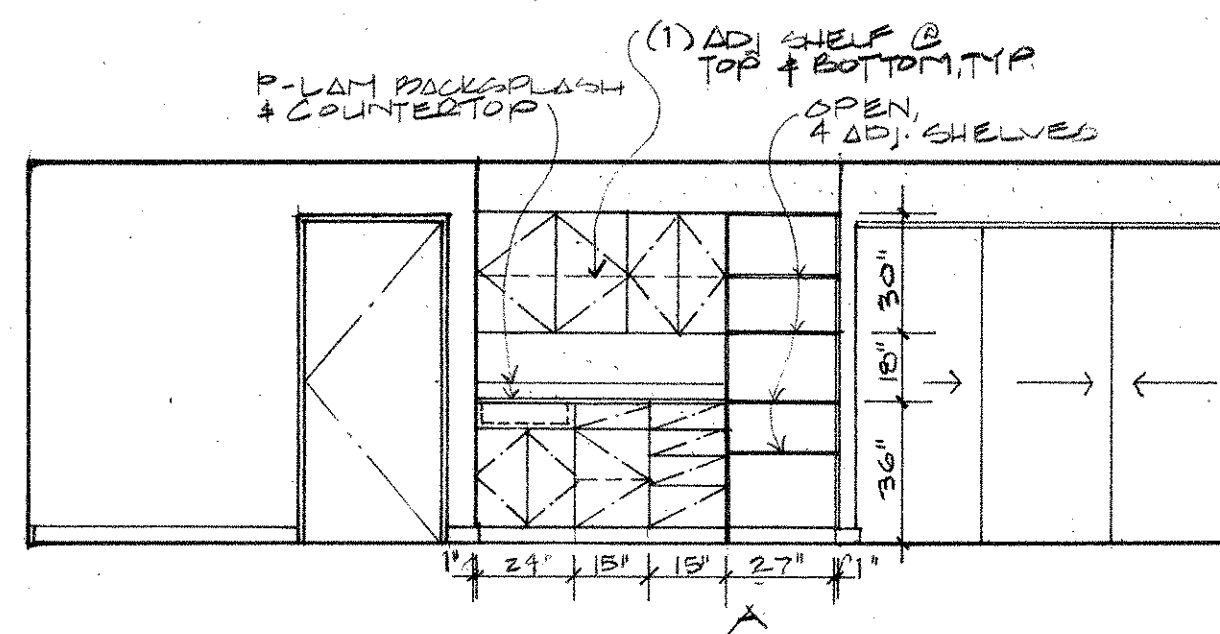
4 WORK AREA ELEVATION UNITS 227 & 327, REVERSED UNITS 224 & 324



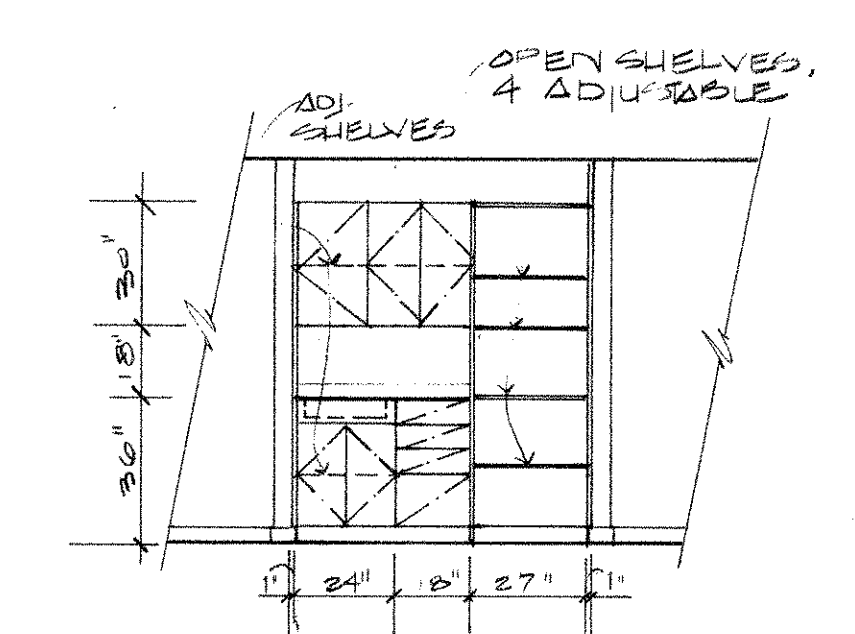
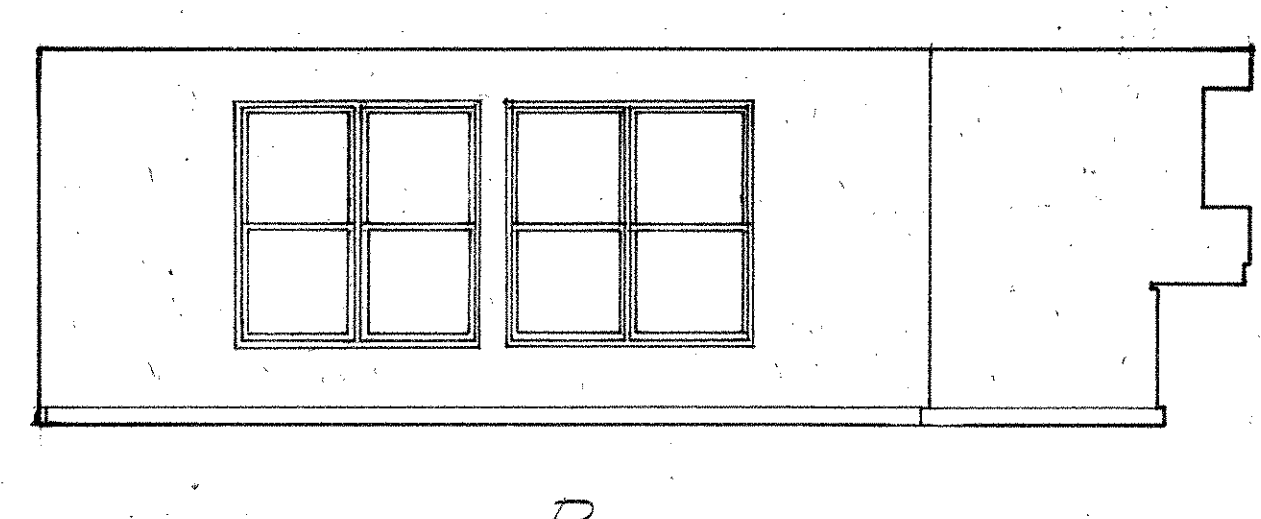
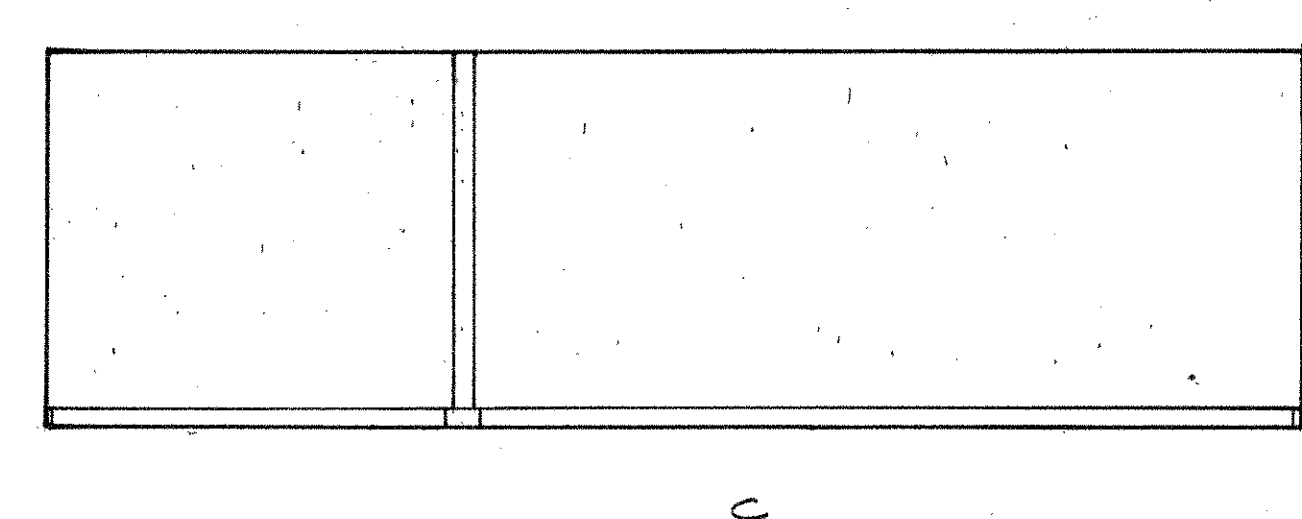
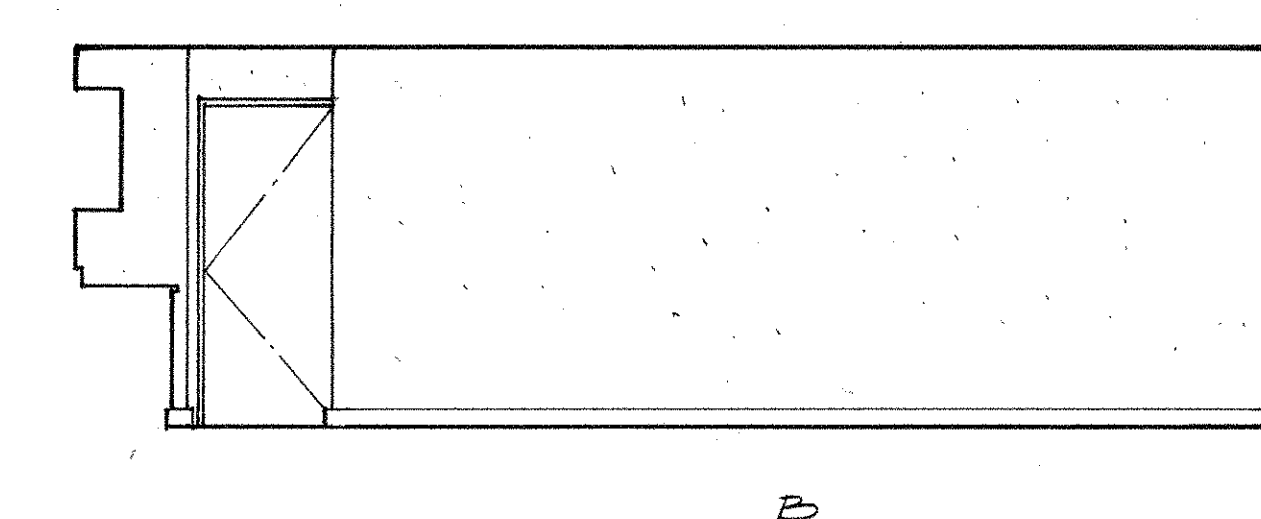
5 NORTH WALL - UNITS 227 & 327
 6 INTERIOR ELEVATIONS - SHARED BATHROOM OF UNITS 226 & 227, 326 & 327



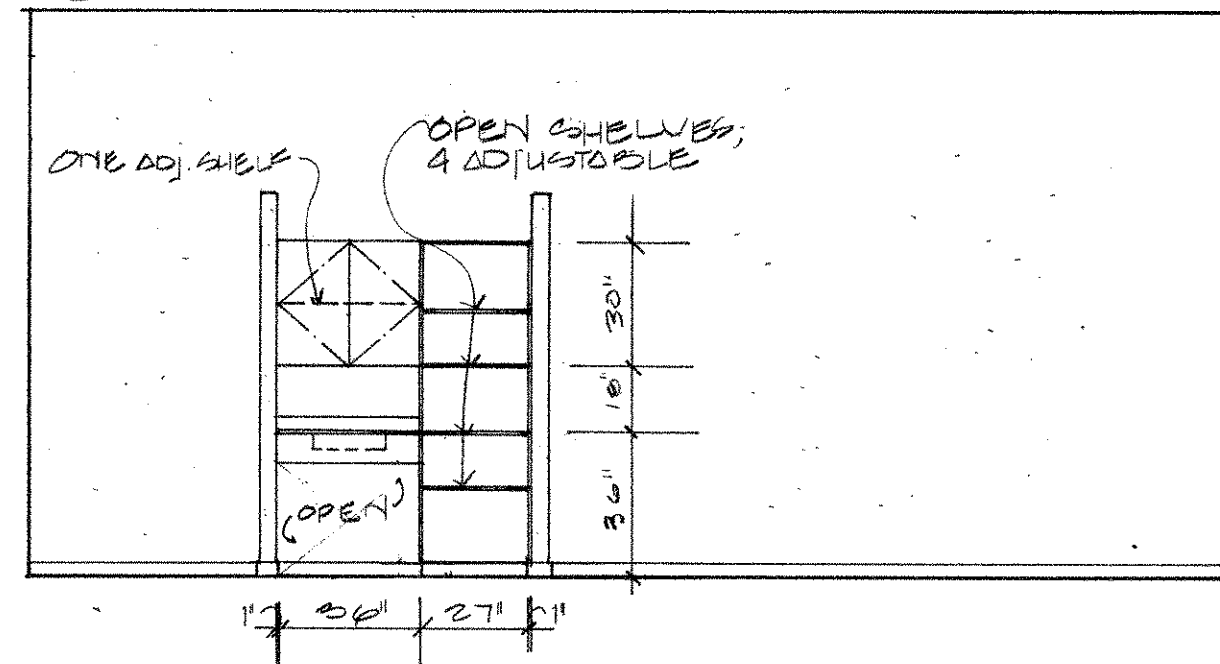
7 SOUTH WALL - UNITS 224 & 324



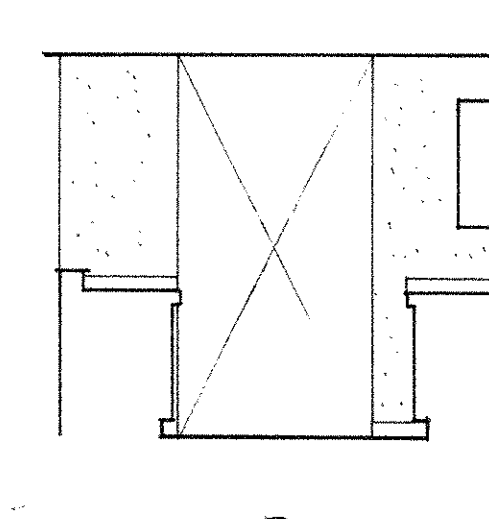
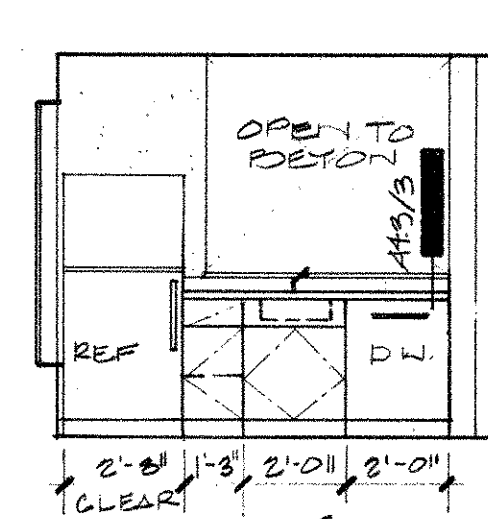
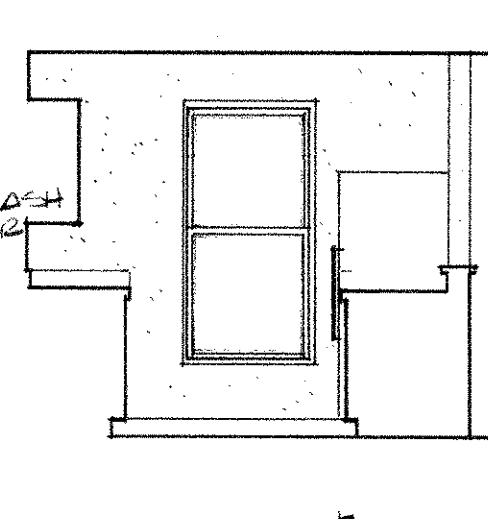
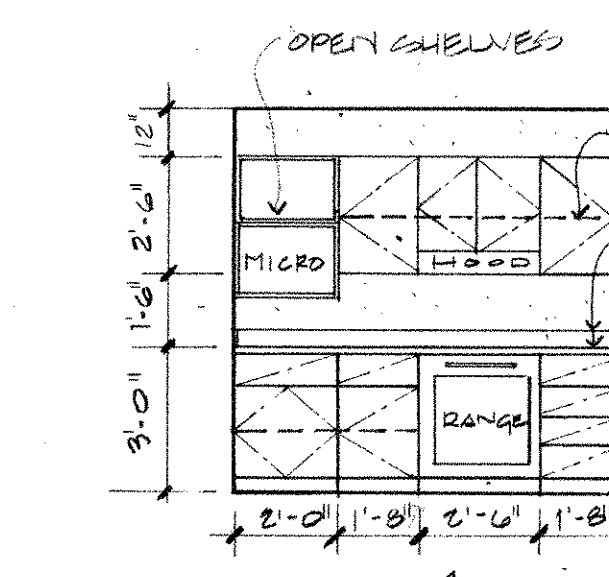
8 INTERIOR ELEVATIONS - UNITS 206 & 306



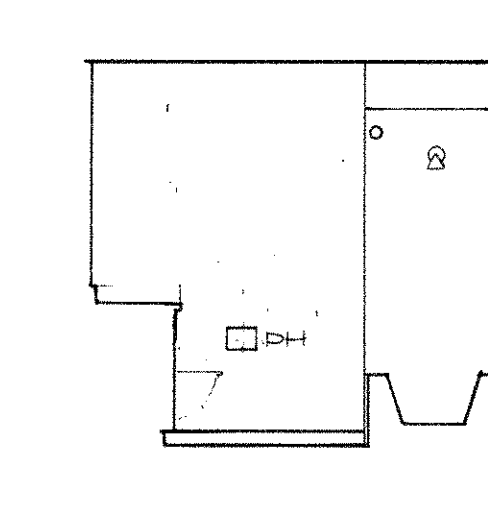
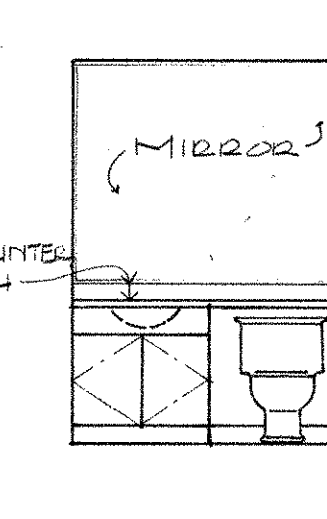
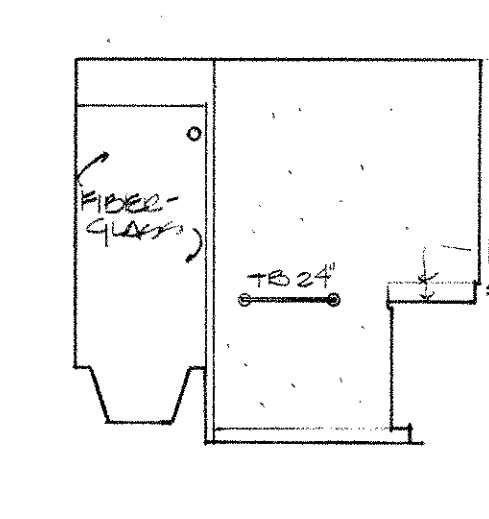
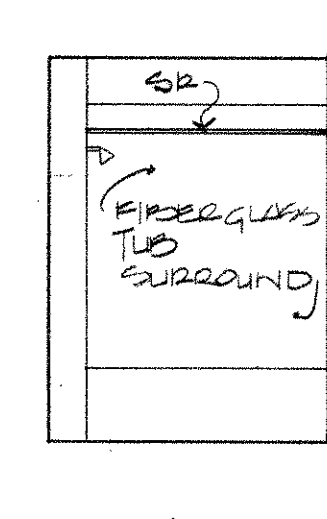
9 WORK AREA ELEVATION UNIT 208, REVERSED UNIT 208



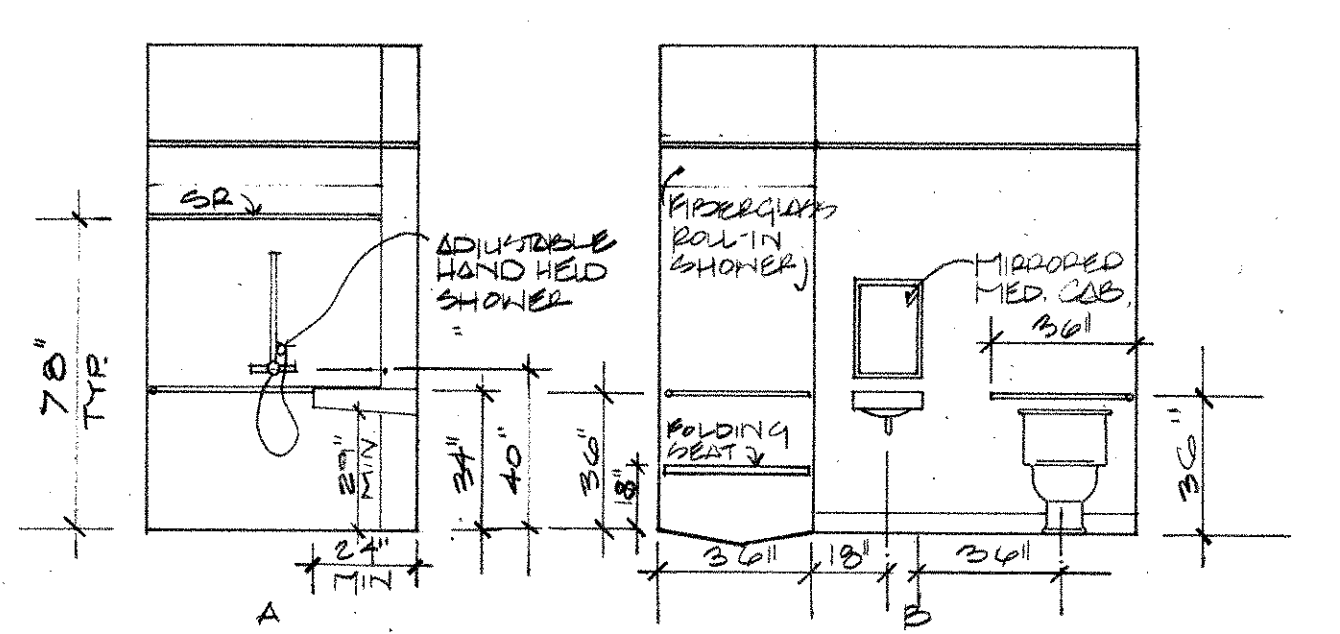
10 WORK AREA ELEVATIONS - 1ST FL. UNITS



11 KITCHEN ELEVATIONS - BEDROOM APARTMENT OF UNIT 218



12 BATHROOM ELEVATIONS - UNIT 218



13 BARRIER FREE BATHROOM ELEVATIONS - (1ST FLOOR UNITS)

PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

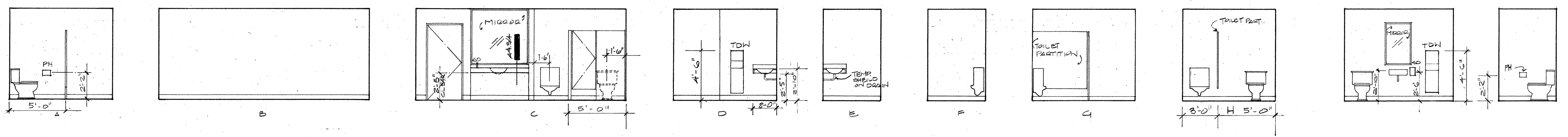
No	Revisions	Date

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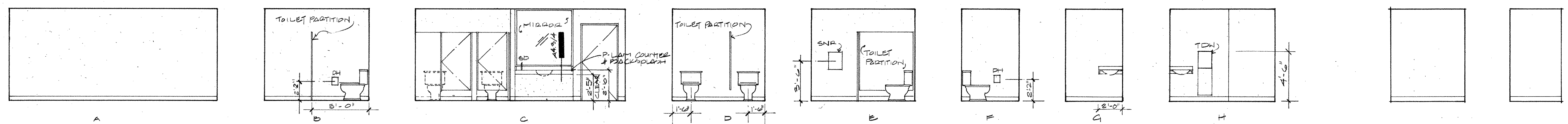
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INTERIOR ELEVATIONS
 UNITS

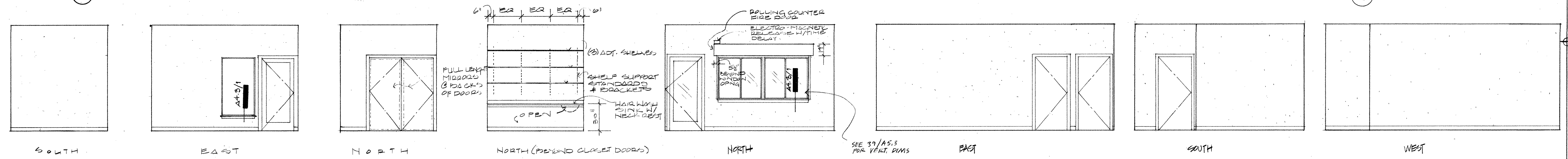
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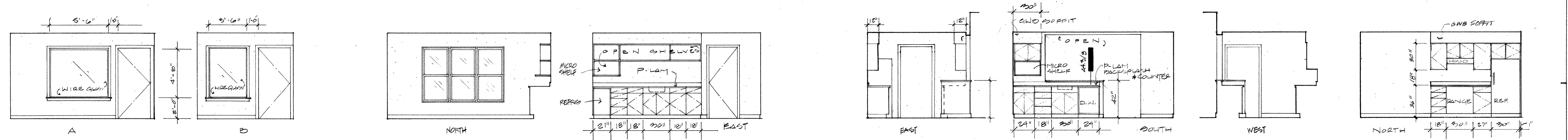
36 MEN'S RESTROOM 1 MEN / WOMEN REVERSED



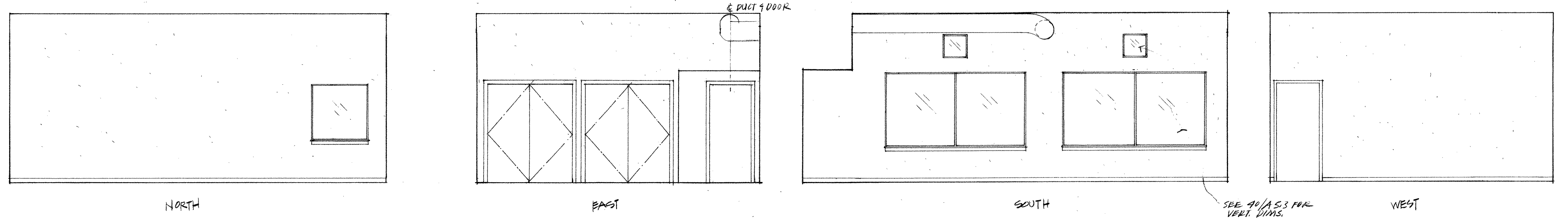
37 WOMEN'S RESTROOM 2 OFFICE STORAGE



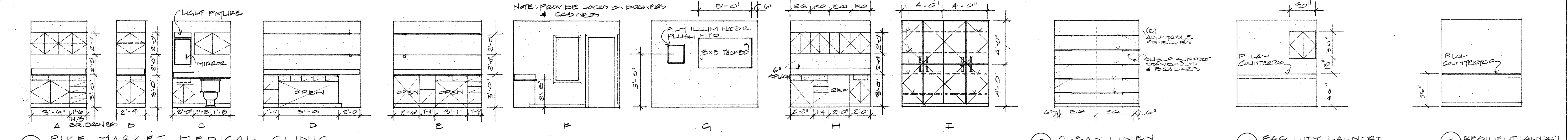
38 BEAUTY PARLOR 23 MANAGER'S OFFICE



39 CORRIDOR @ DAY ROOM 29 STAFF LOUNGE 19 RESIDENT'S KITCHEN



30 ARTS & CRAFTS



40 PIKE MARKET MEDICAL CLINIC 15 CLEAN LINEN 10 FACILITY LAUNDRY 5 RESIDENT LAUNDRY

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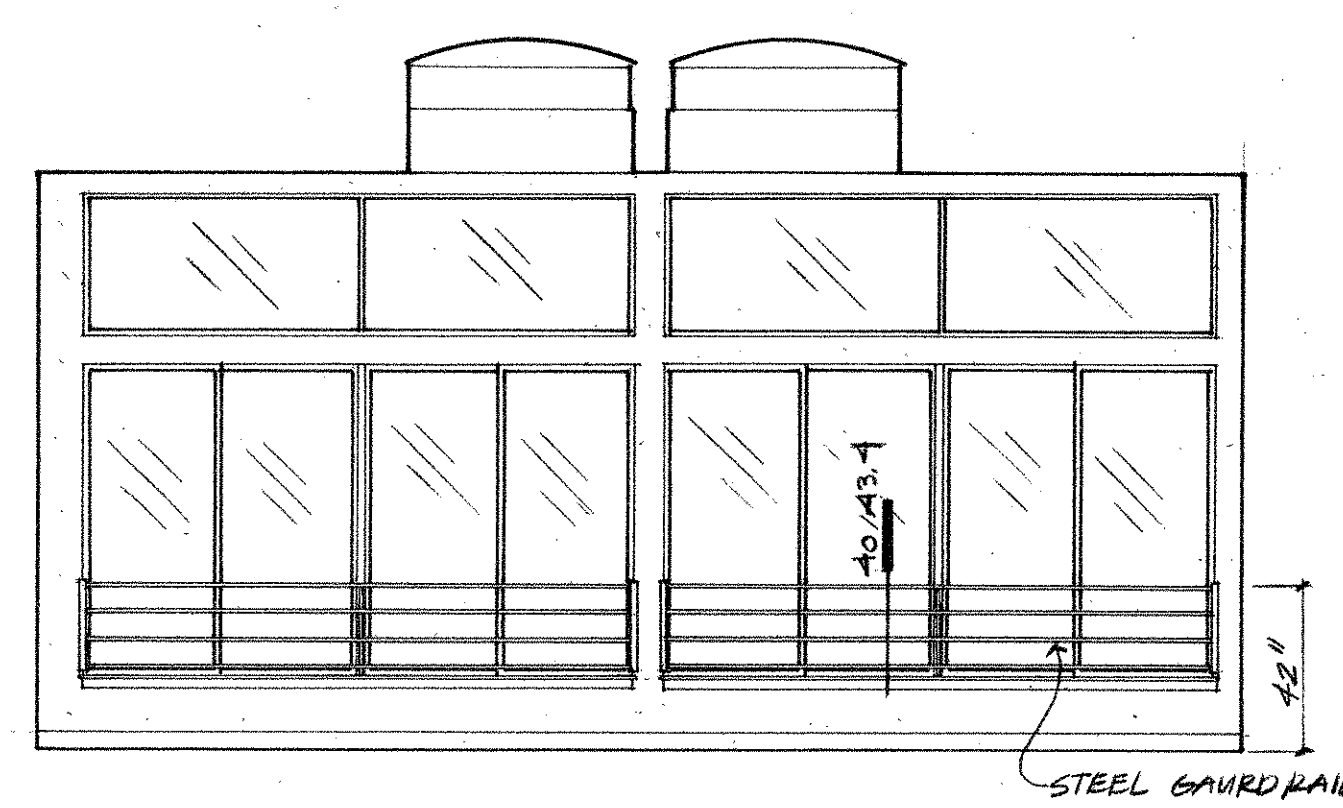
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INTERIOR ELEVATIONS
PUBLIC SPACES

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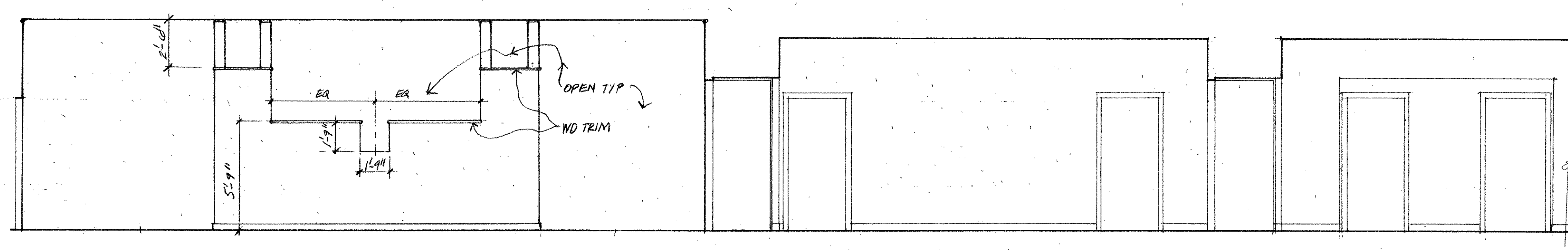
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STATE OF WASHINGTON

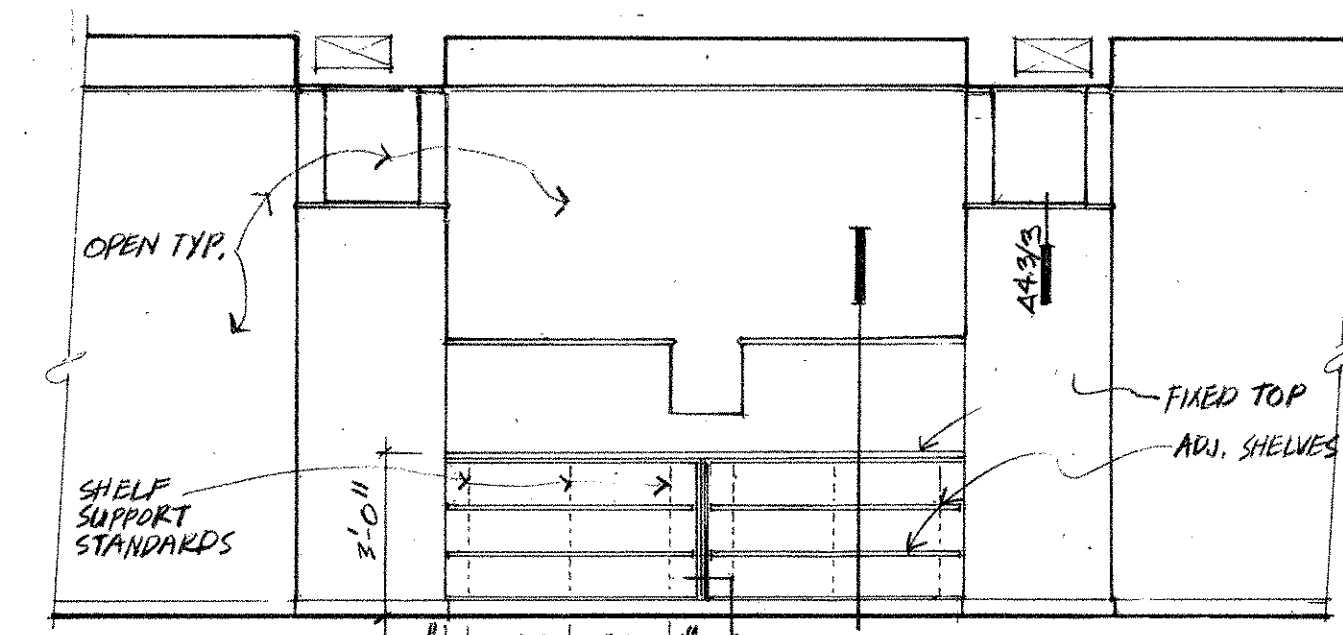
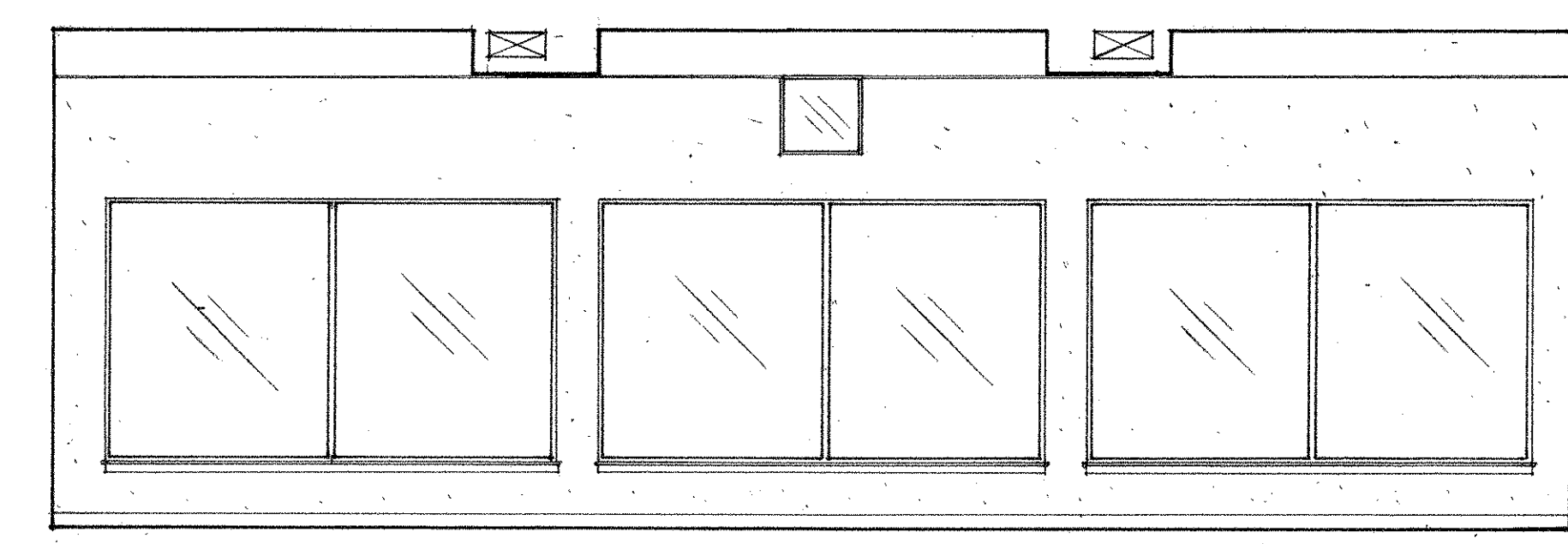
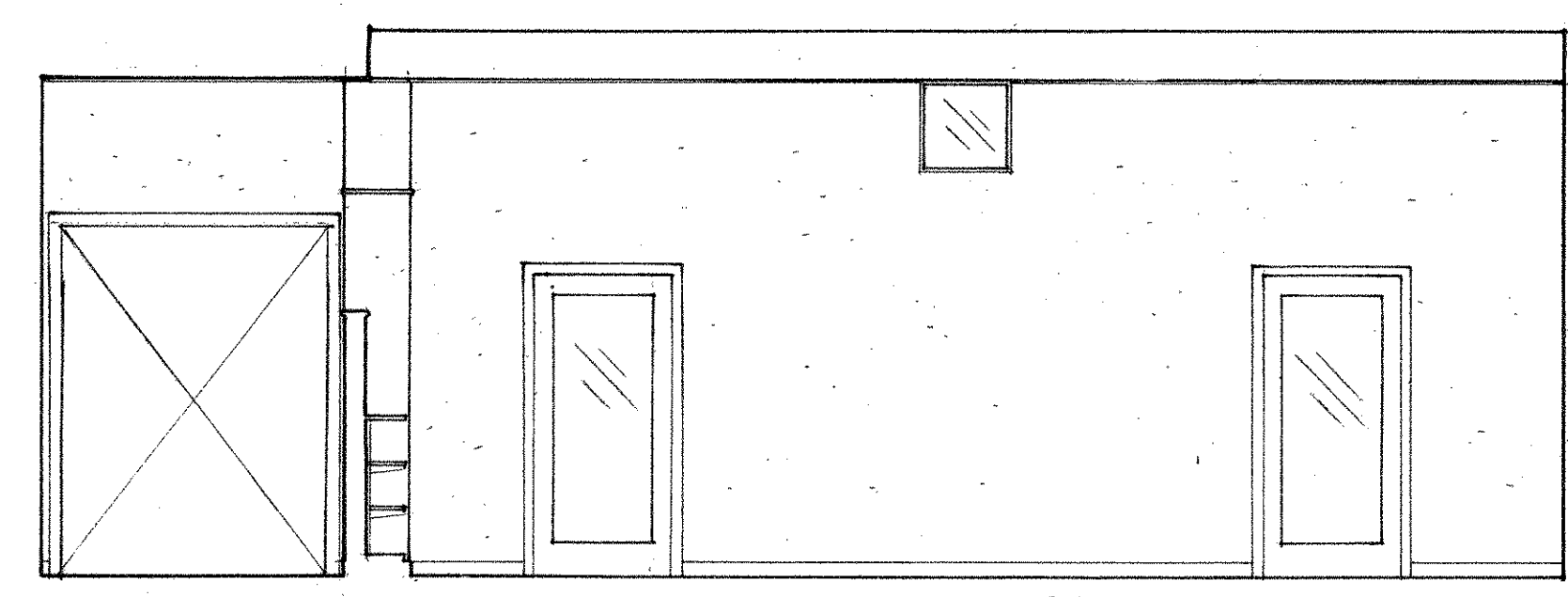
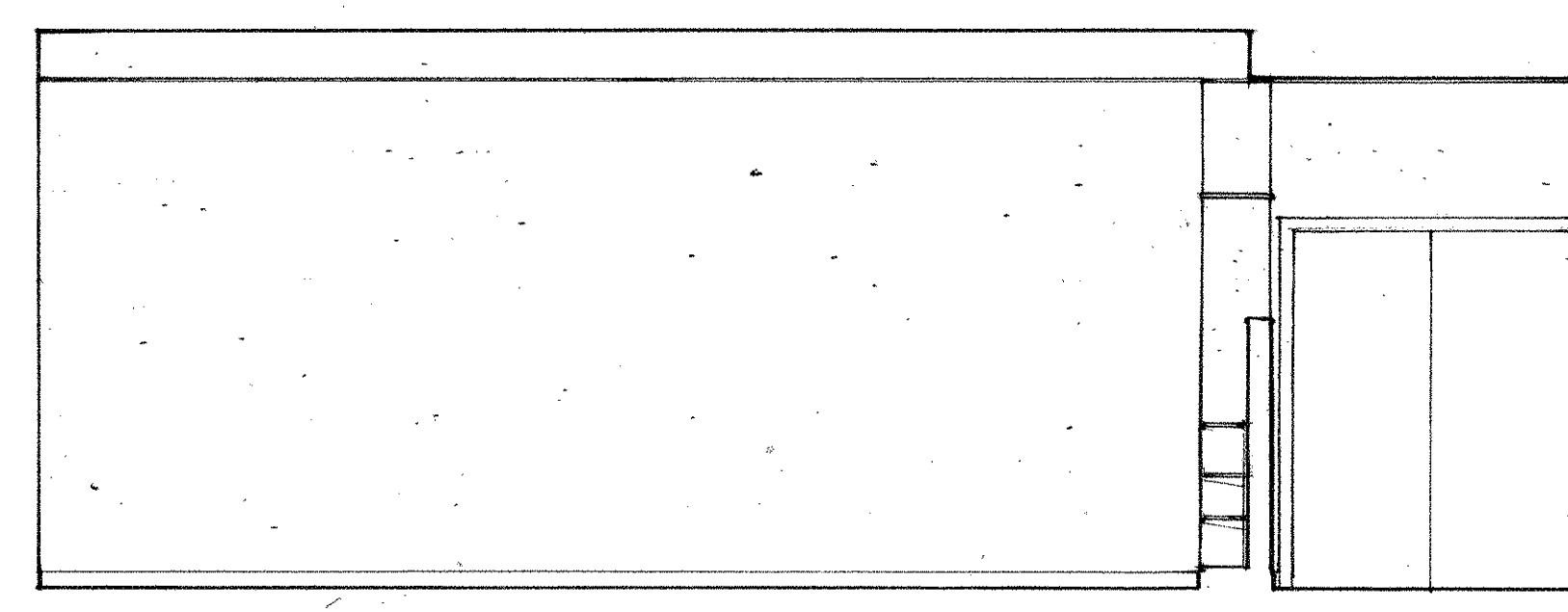
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



30 GARDEN ROOM WEST, SOUTH SIM.

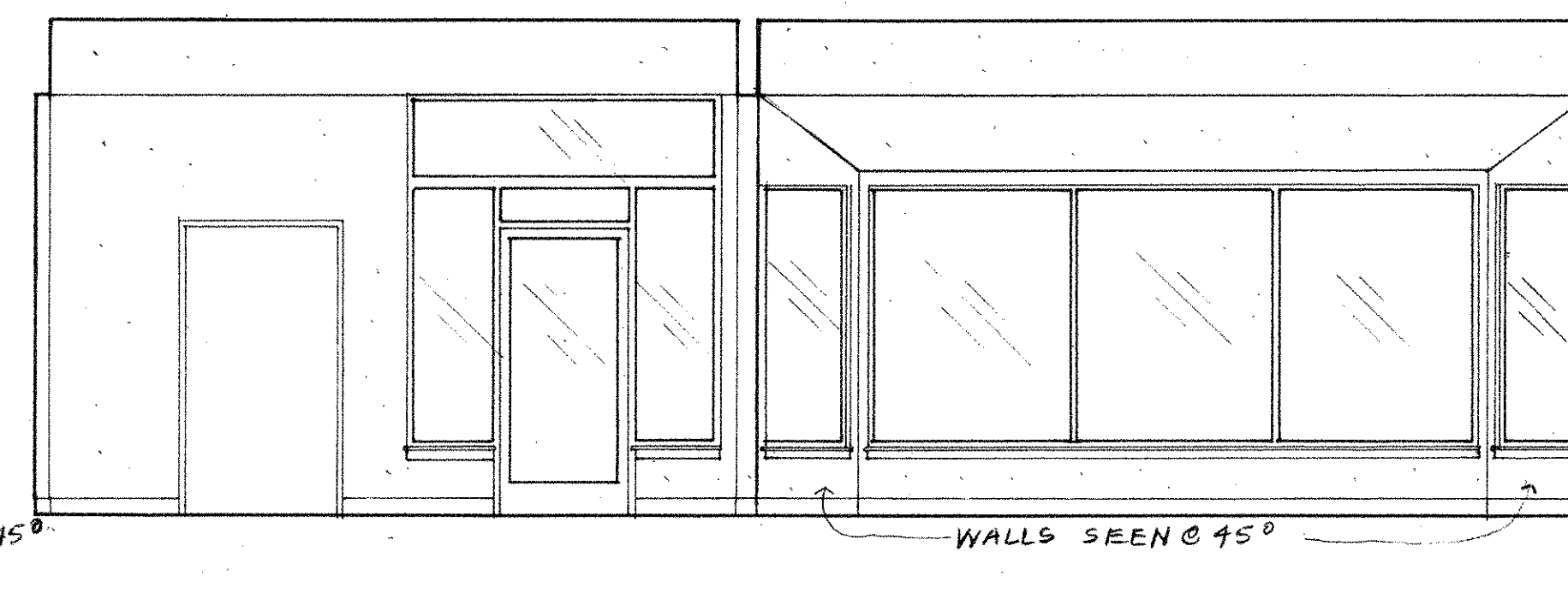
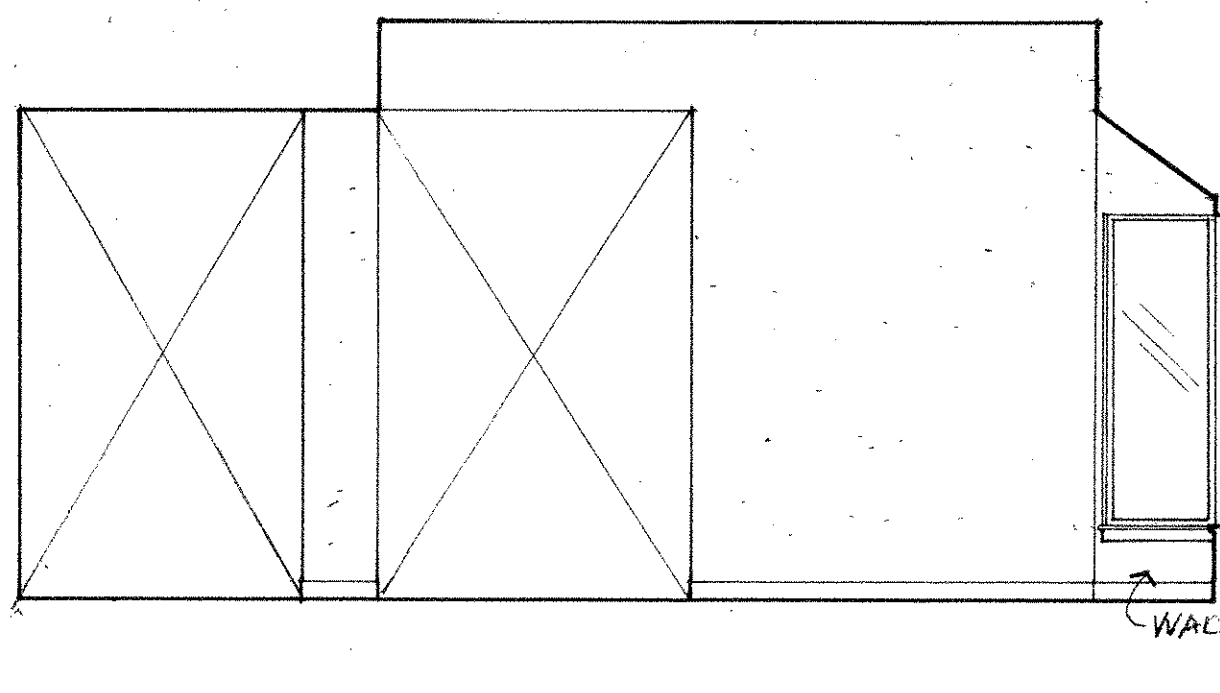
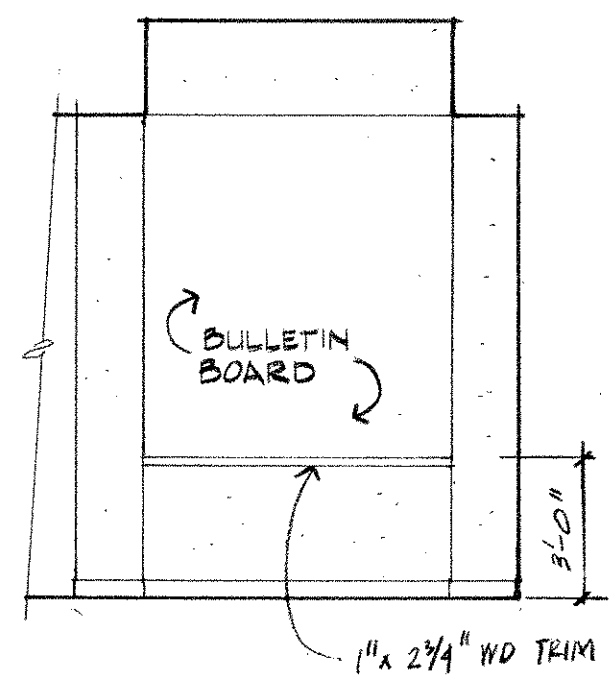
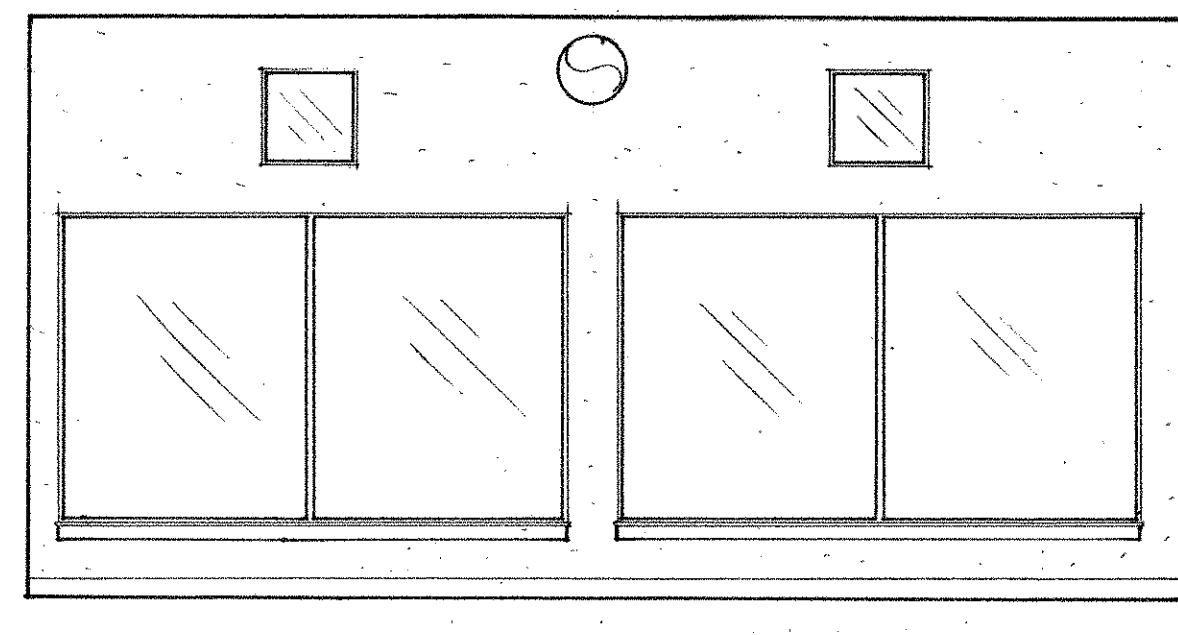


A. HALL AT LIVING/LIBRARY B. CORRIDOR AT DEN C. TYP. UNIT ENTRY AT CORRIDOR

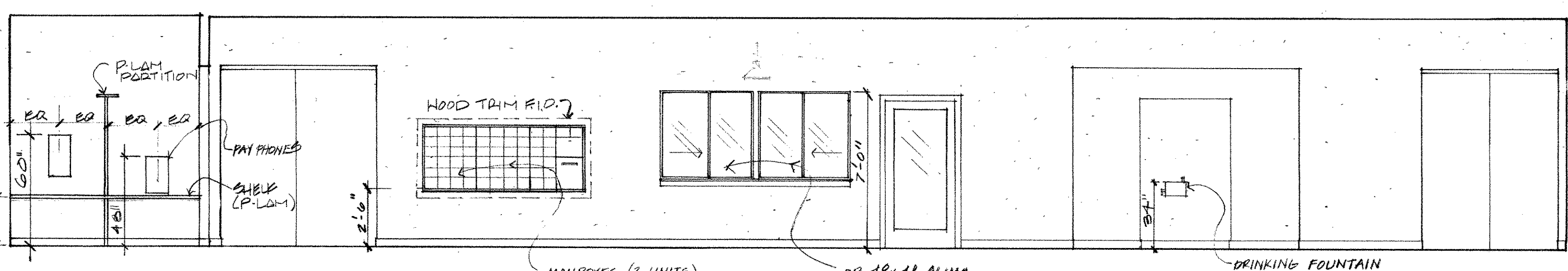


A. NORTH B. SOUTH C. WEST D. EAST

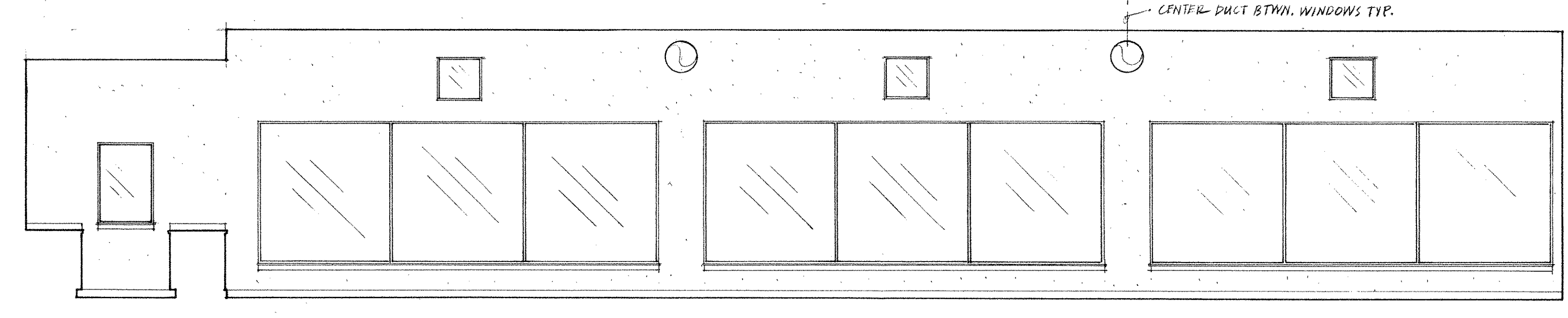
37 LIVING/LIBRARY



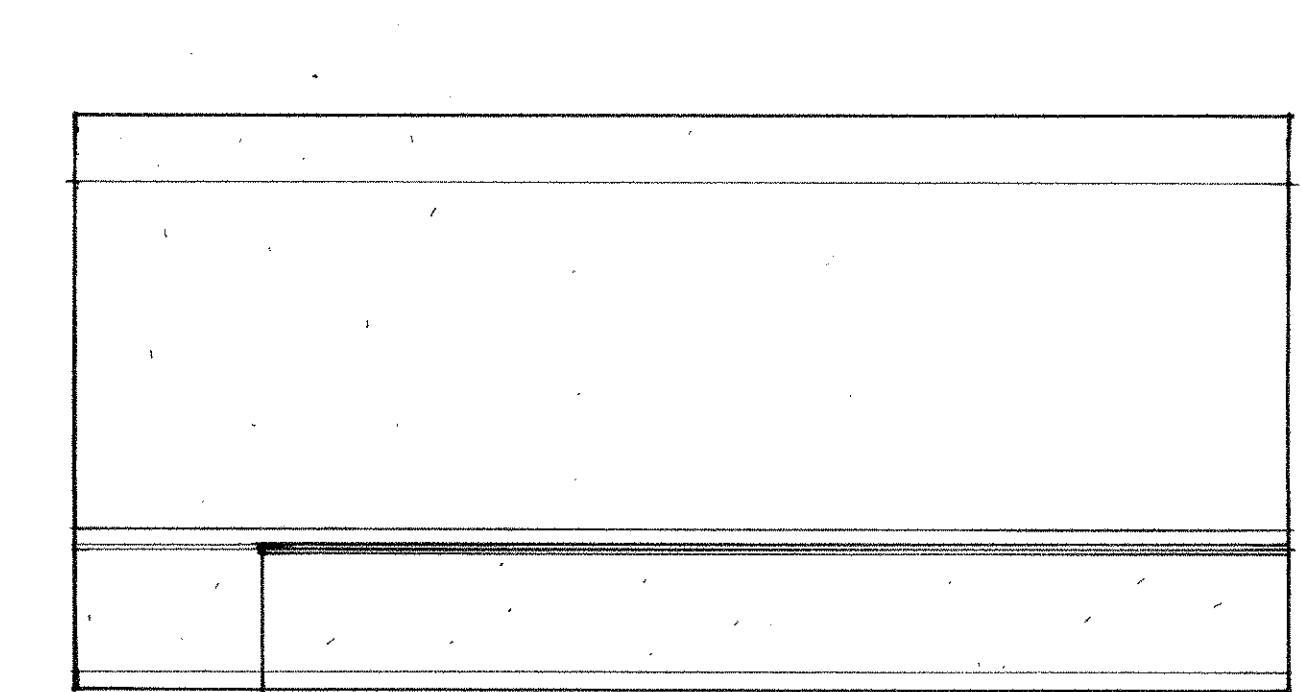
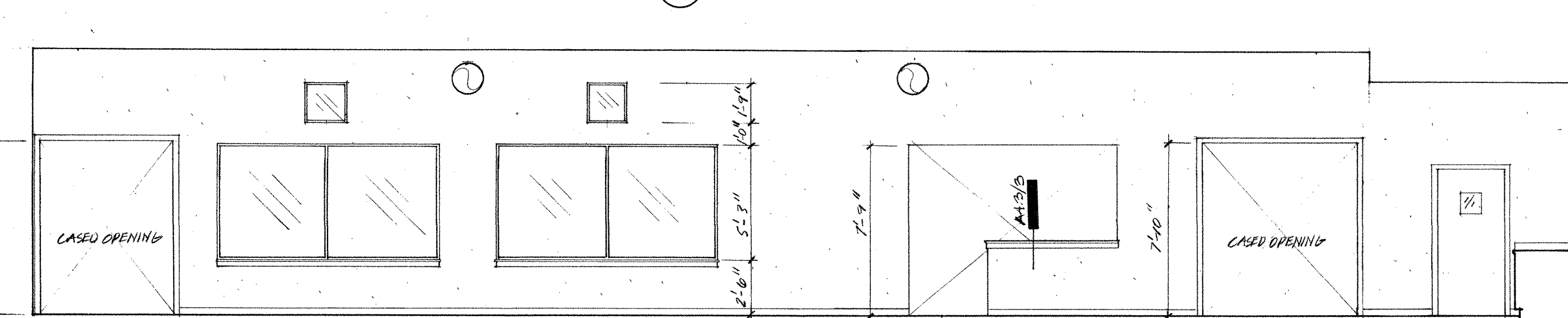
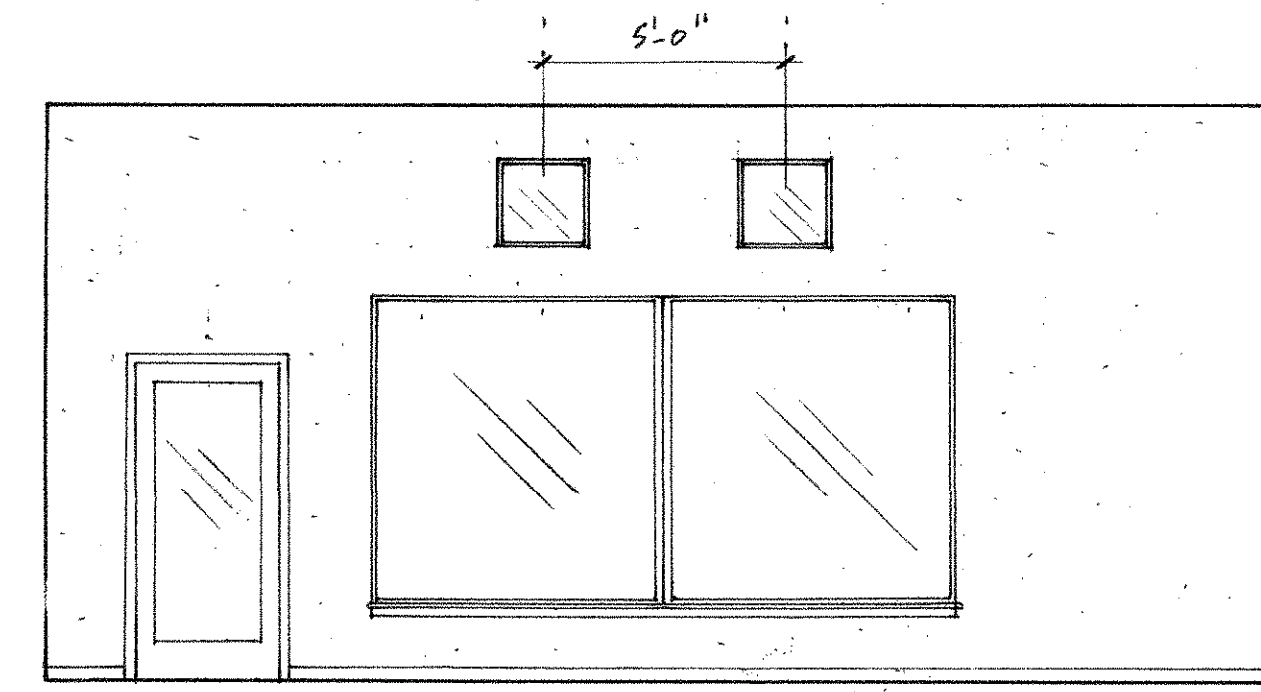
38 DEN WEST 32 ENTRY WEST 27 RECEPTION/LOBBY WEST 18 LOBBY/RECEPTION NORTH



A. TELEPHONE VEST



19 DINING ROOM SOUTH



A. WEST B. NORTH C. EAST

40 DINING ROOM

No	Revisions	Date

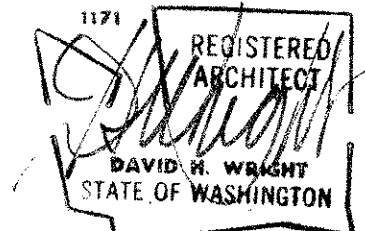
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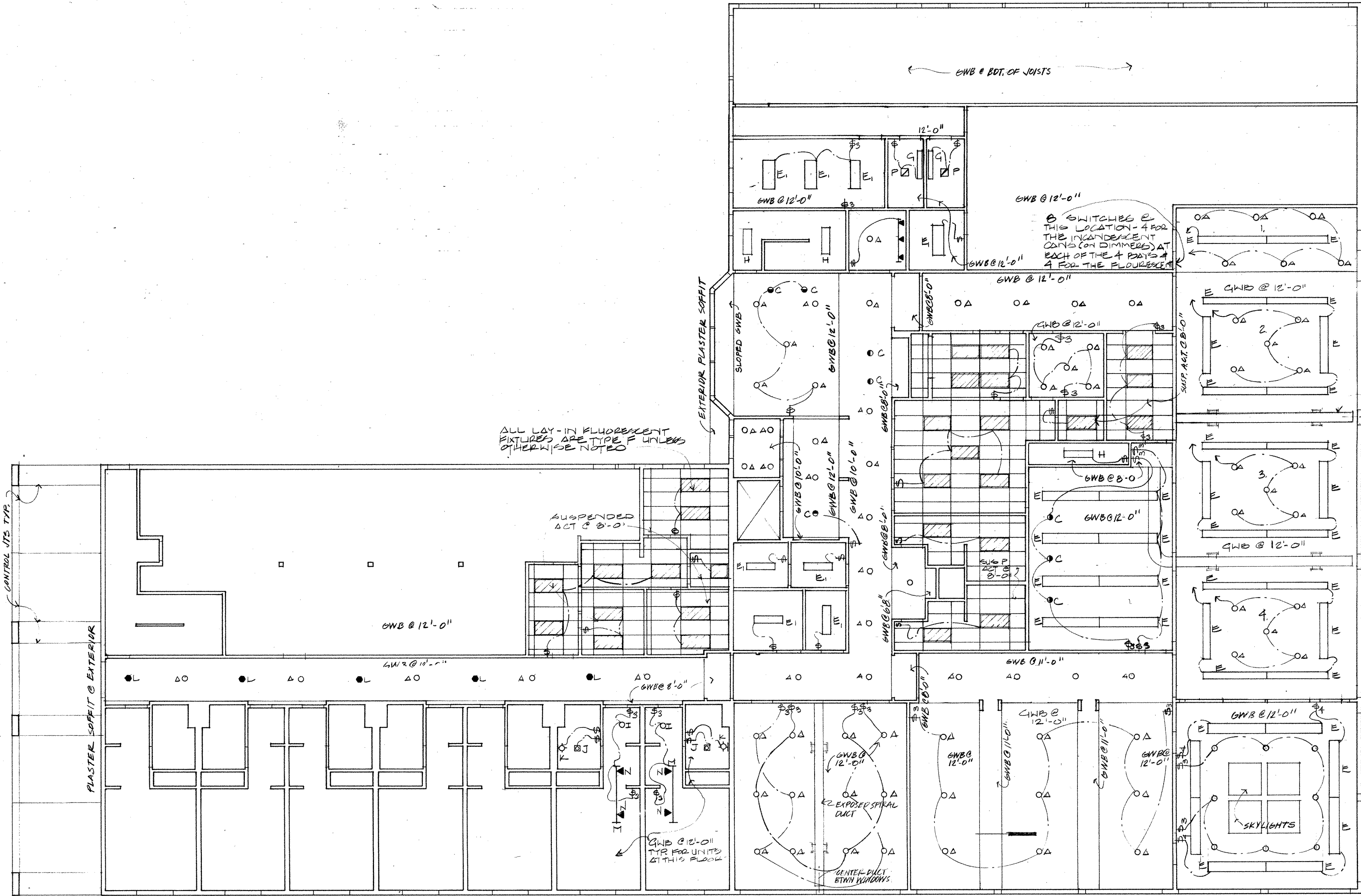
INTERIOR ELEVATIONS - PUBLIC SPACES

A5.3

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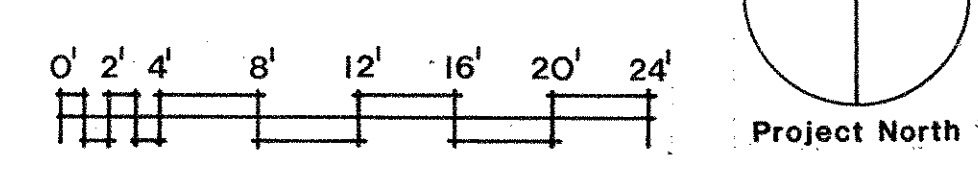


NOTE: FIXTURE E (NOT E1) IS TO BE MOUNTED UPSIDE DOWN. SEE DETAIL.

SYMBOLS

A ○	SURFACE MOUNTED CAN
B ○	RECESSED CAN
C ○	SURFACE MNT ACCENT CAN
D ○	RECESSED ACCENT
E □	2' HANGING FLUORESCENT
F □	4' HANGING FLUORESCENT
F //	LAY-IN FLUORESCENT - 2x4'
Q //	WALL POCKET FLUORESCENT
H //	SURFACE MNT. FLUORESCENT
I ○	SURFACE MNT. DECORATIVE CLG
J □	FAN / HEAT / LAMP
K ○	WALL SCONCE
L ●	SURFACE MT. - HANGING
L ○	SURFACE MT. - NO STEM
M	B' TRACK
N ▲	TRACK HEAD
P □	FAN

FIRST FLOOR REFLECTED CEILING PLAN



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No.	Revisions	Date

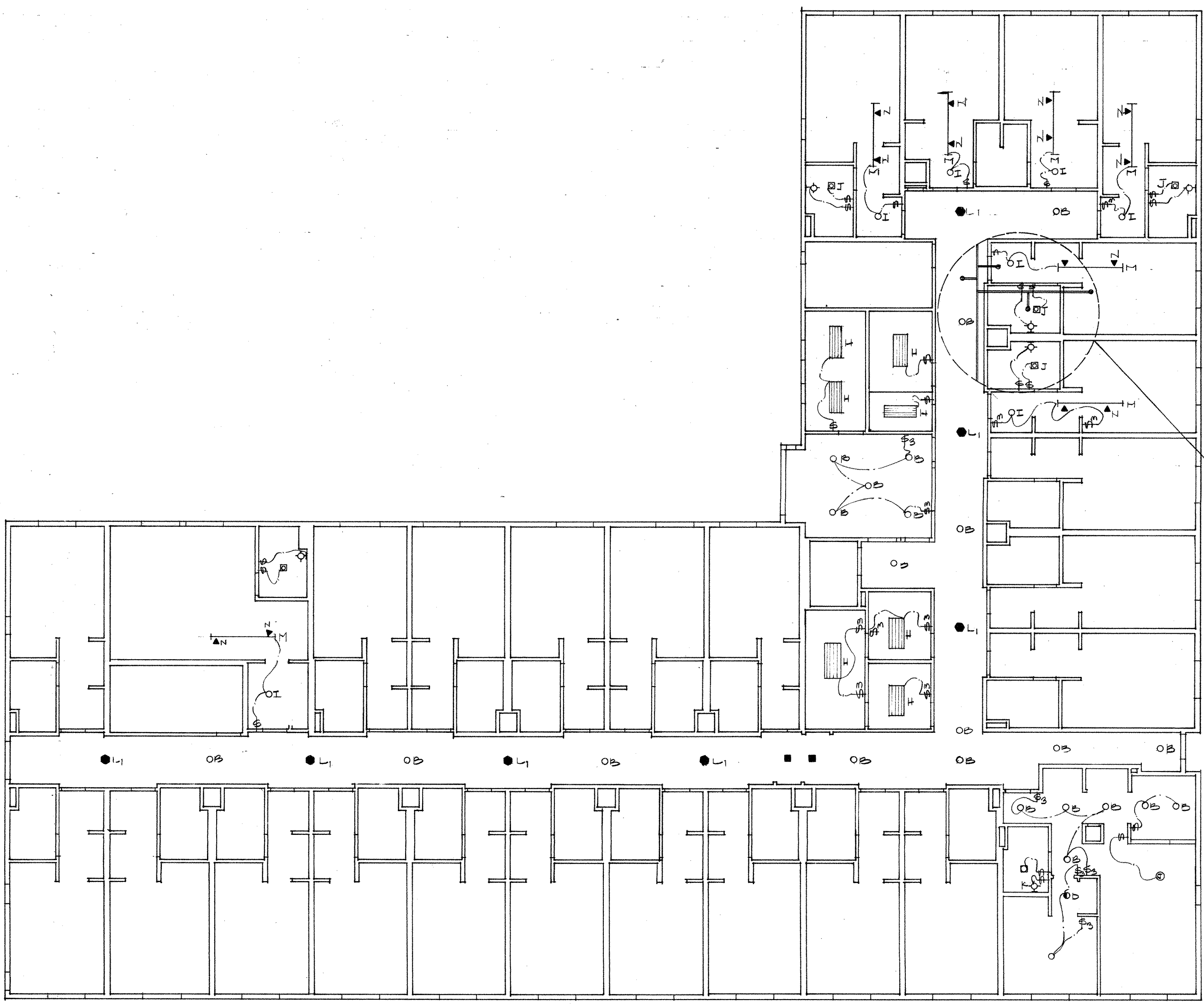
Project No 1114.01

REFLECTED CEILING AND LIGHTING PLANS

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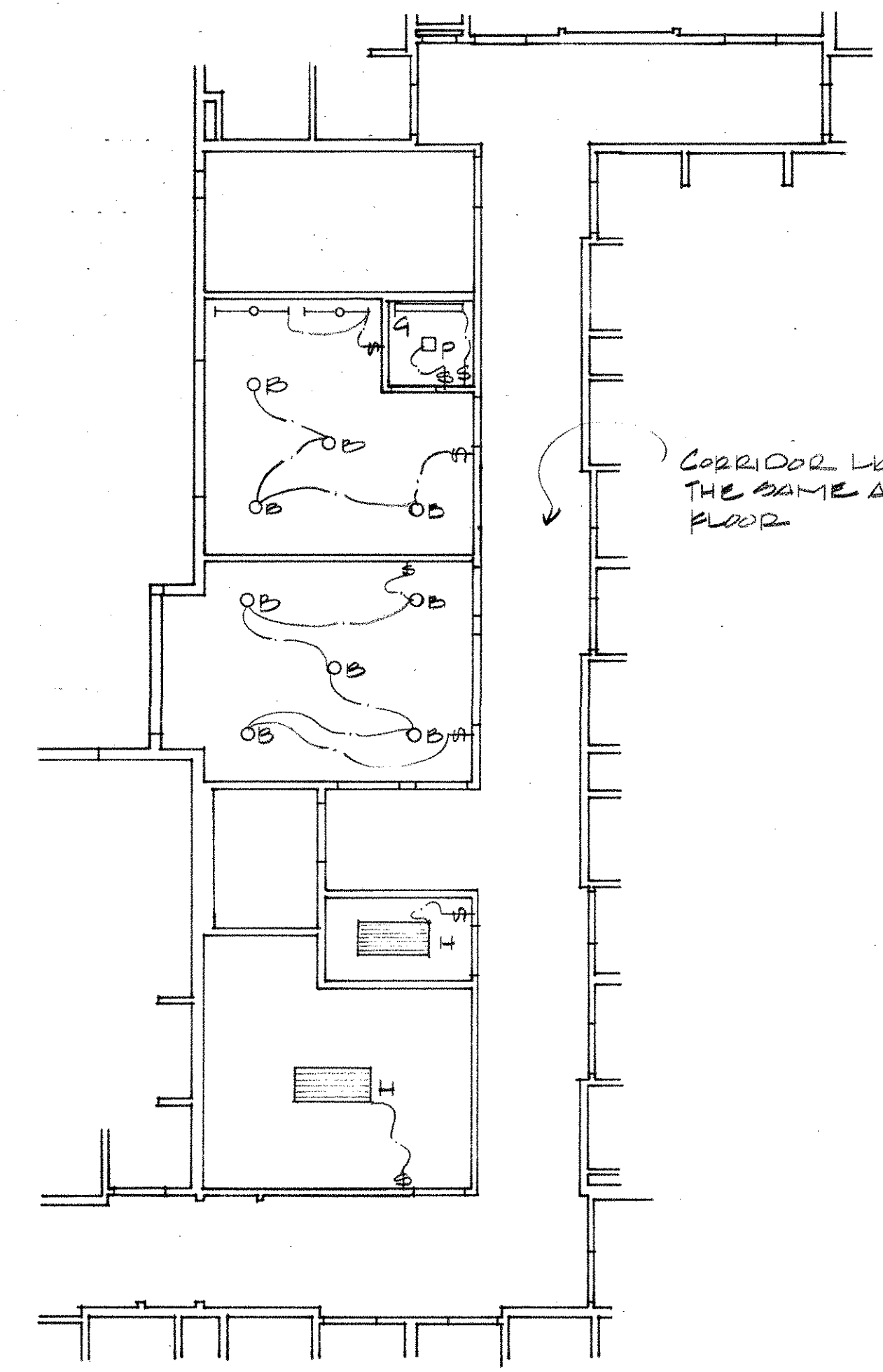
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



THIS UNIT LAYOUT IS TYPICAL OF ALL UNITS UNLESS OTHERWISE NOTED

TYPICAL SPRINKLER LAYOUT PER UNIT UNLESS OTHERWISE NOTED.

NOTE: CEILING HEIGHT TO BE 2' UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED

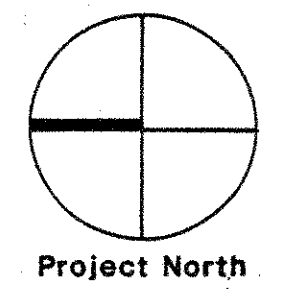


CORRIDOR LIGHTING THE SAME AS 2ND FLOOR

3RD FLOOR PARTIAL REFLECTED PLAN

SECOND FLOOR REFLECTED CEILING PLAN

(AND THIRD FLOOR LIVING AREAS)



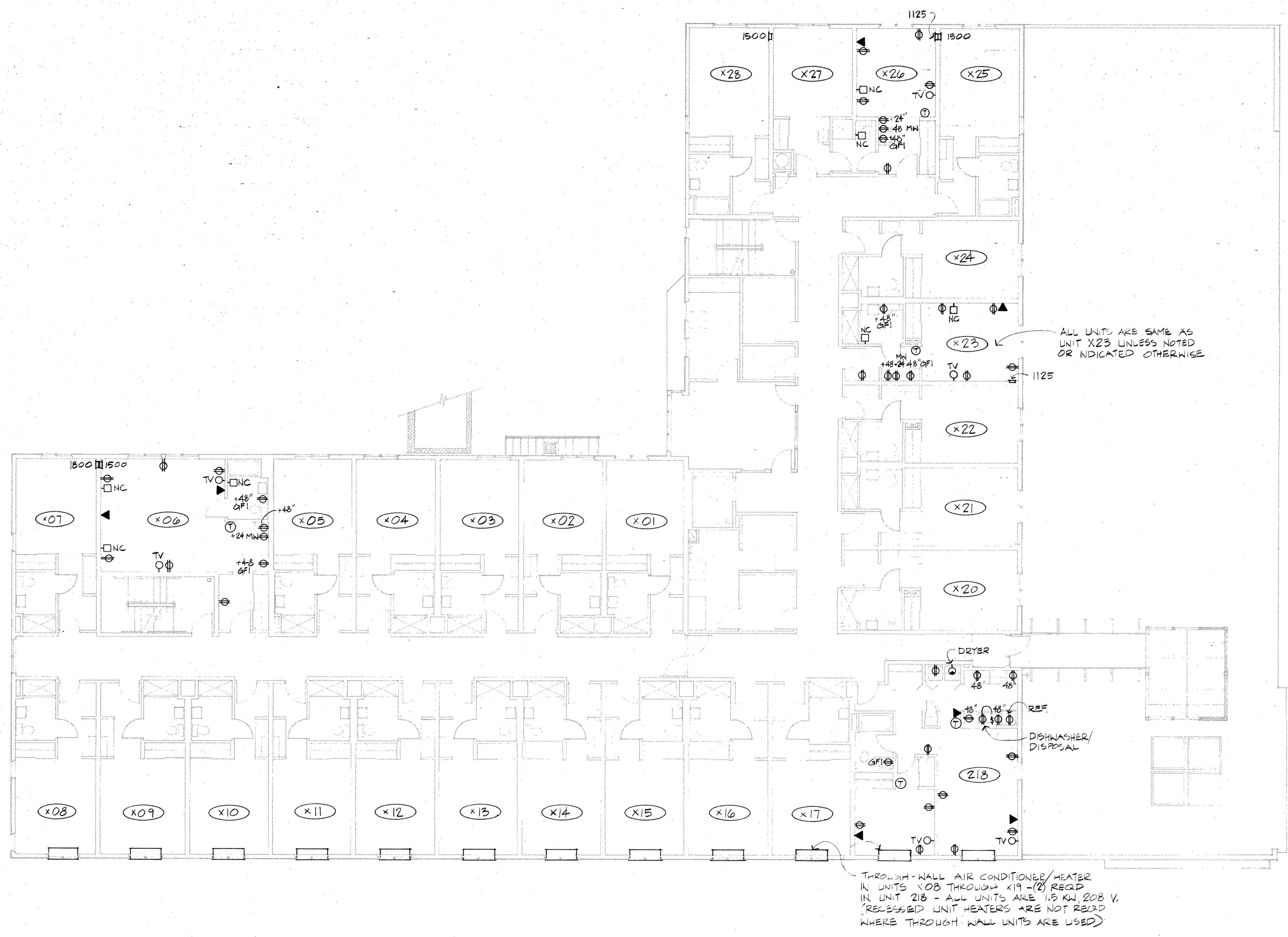
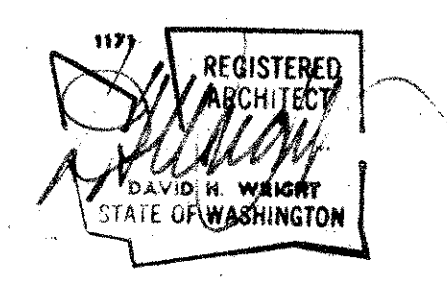
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No	Revisions	Date

Date
 Drawn by
 Checked by

Project No. **1114.01**
 REFLECTED CEILING AND LIGHTING PLANS - LEVELS 2 & 3

THE BUMGARDNER ARCHITECTS
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SEATTLE, WASHINGTON 98101
206-223-1361



SECOND FLOOR - UNIT POWER & COMMUNICATIONS
FIRST AND THIRD FLOOR UNITS SAME U.N.O.

PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

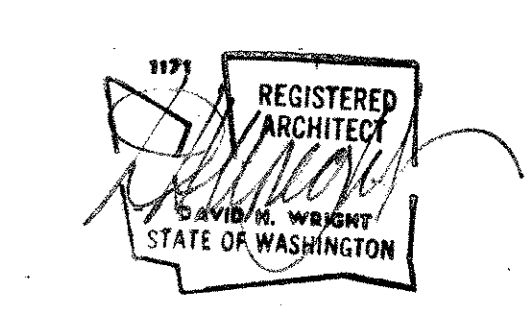
No.	Revisions	Date

Date
Drawn by
Checked by

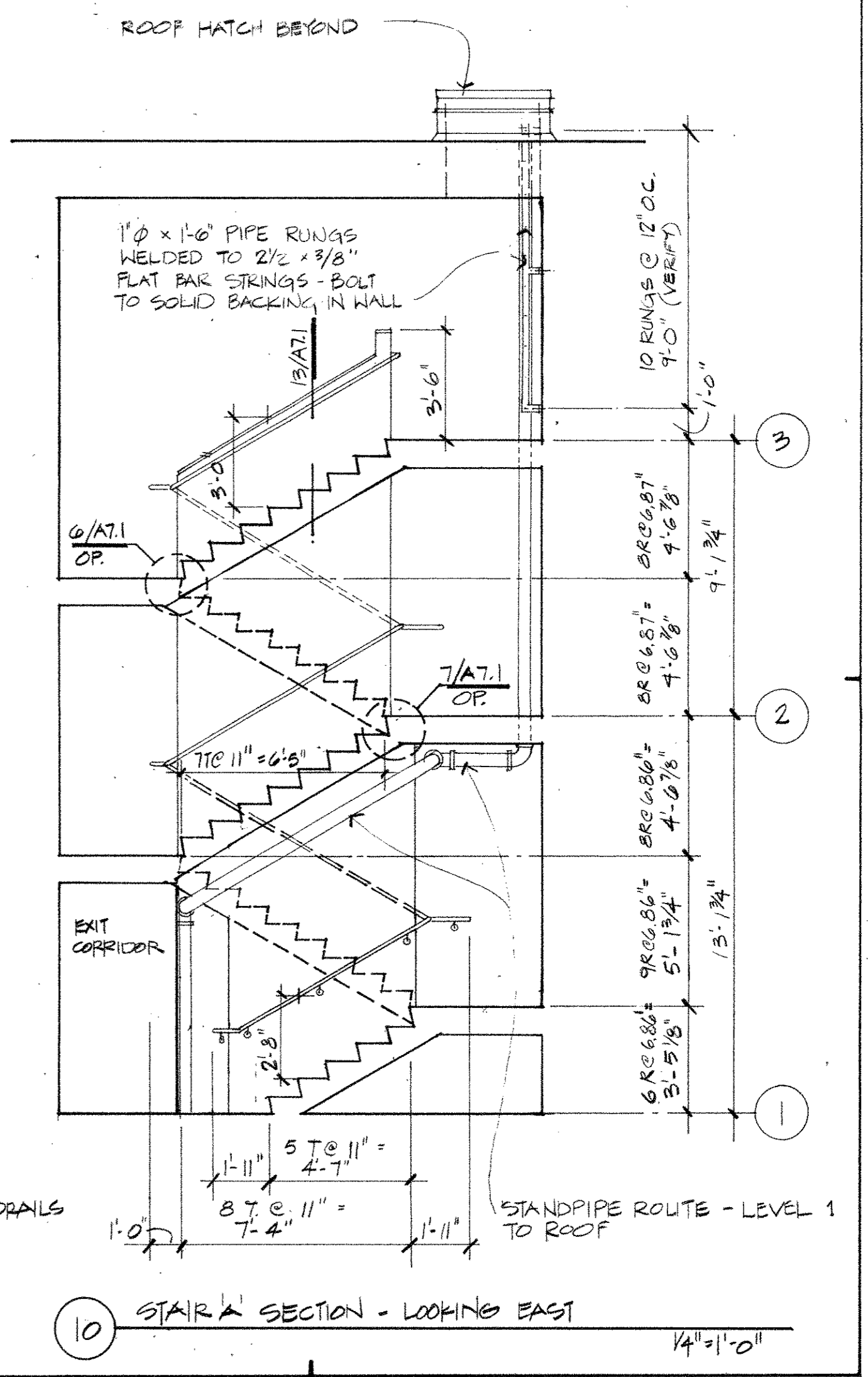
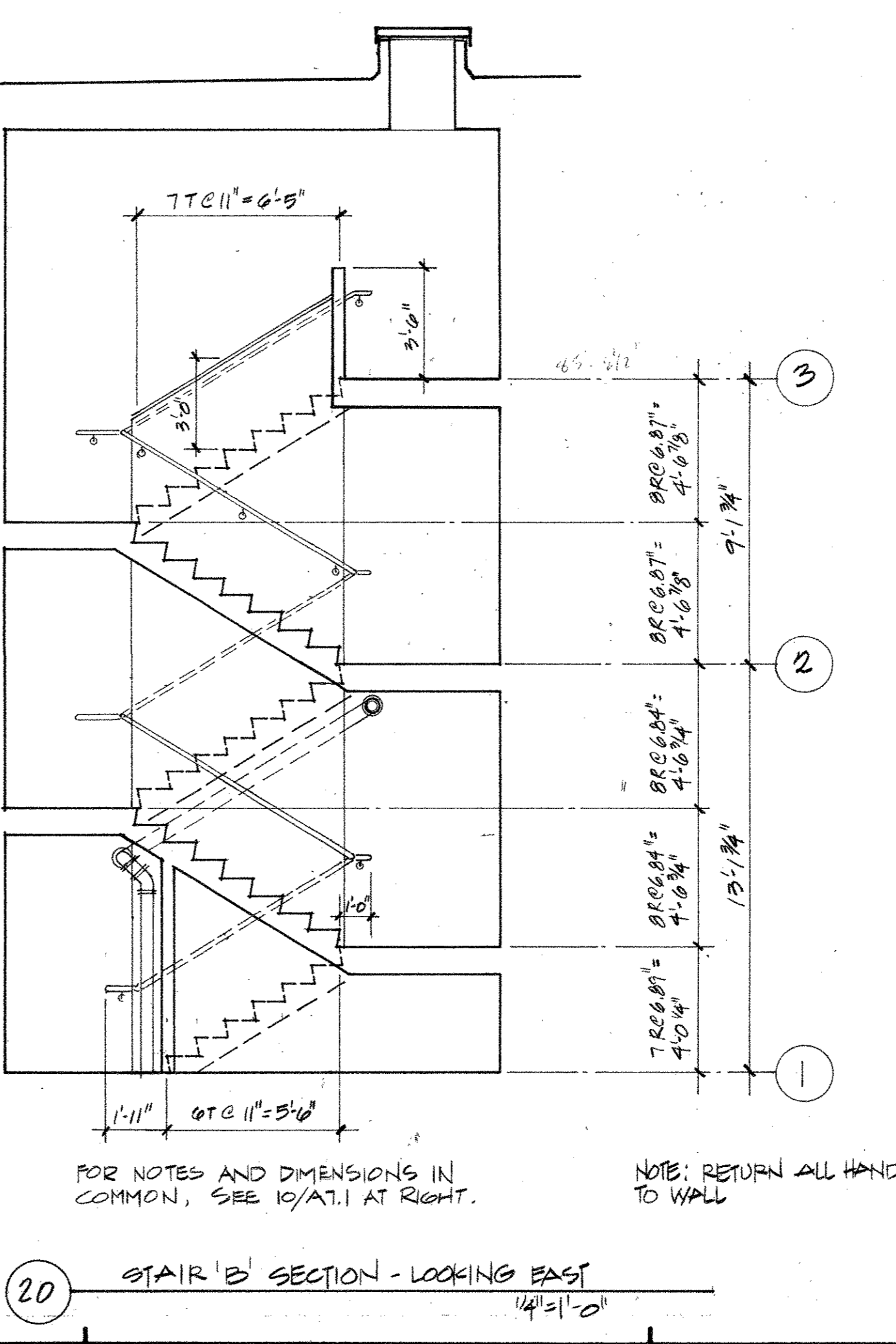
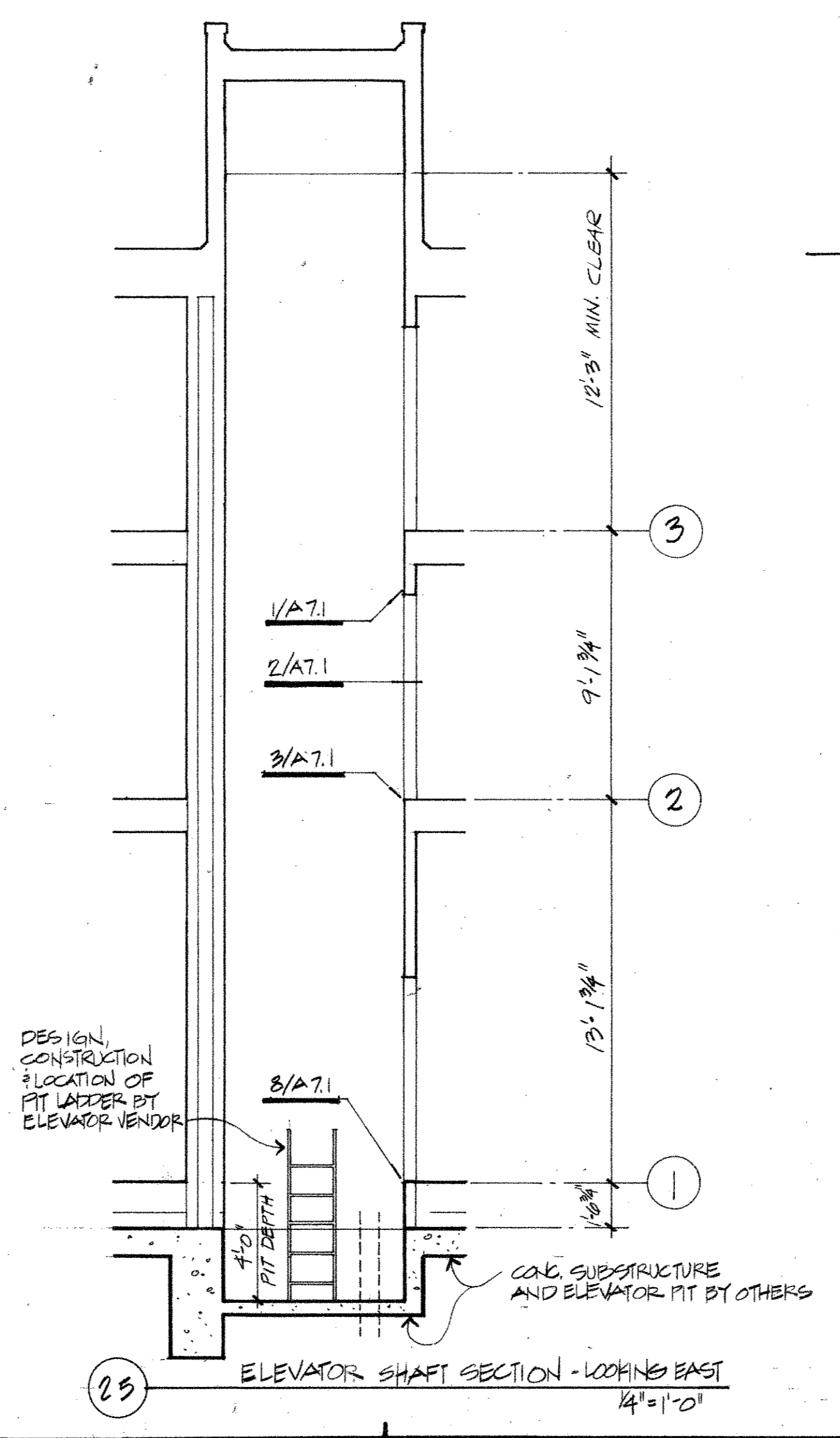
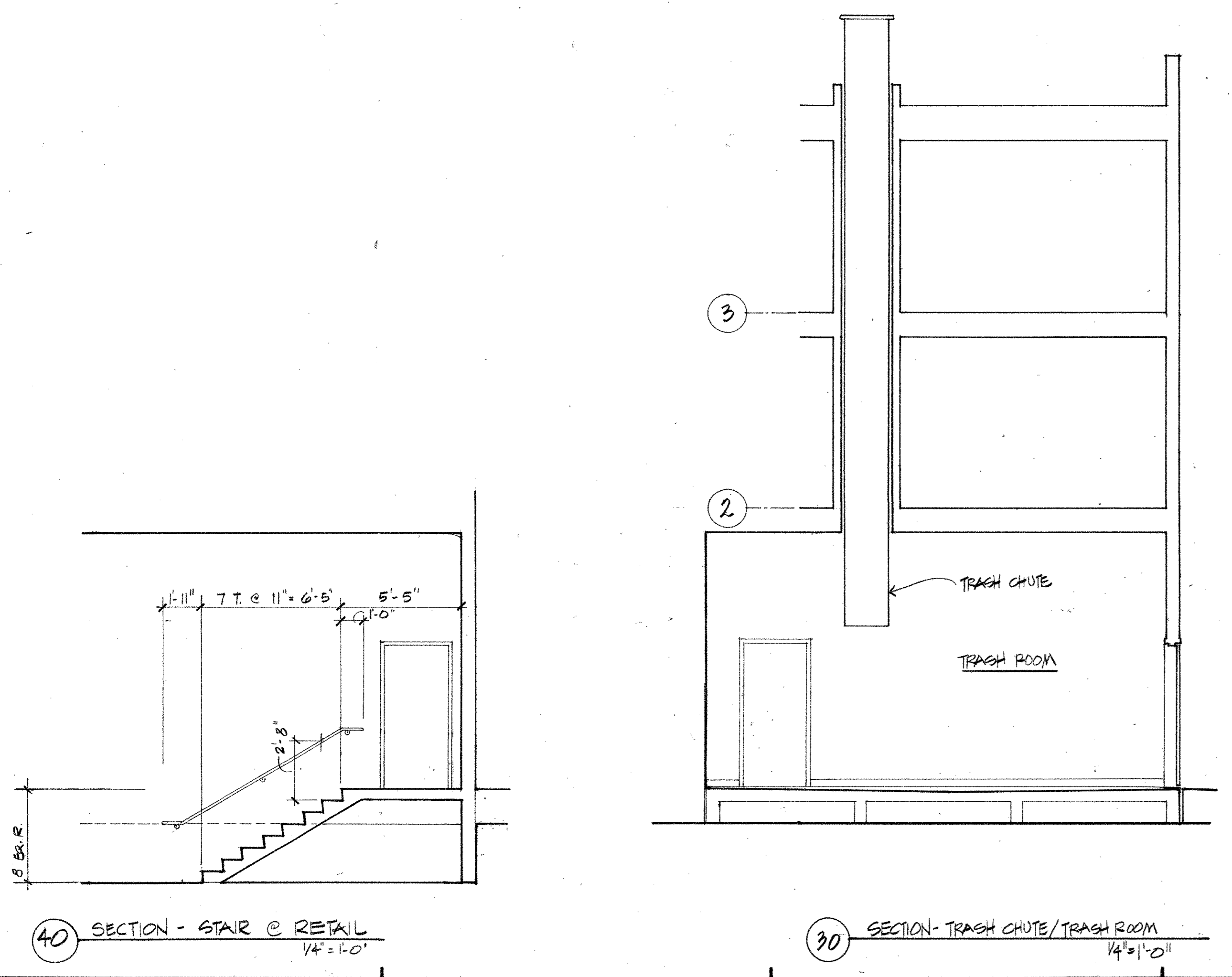
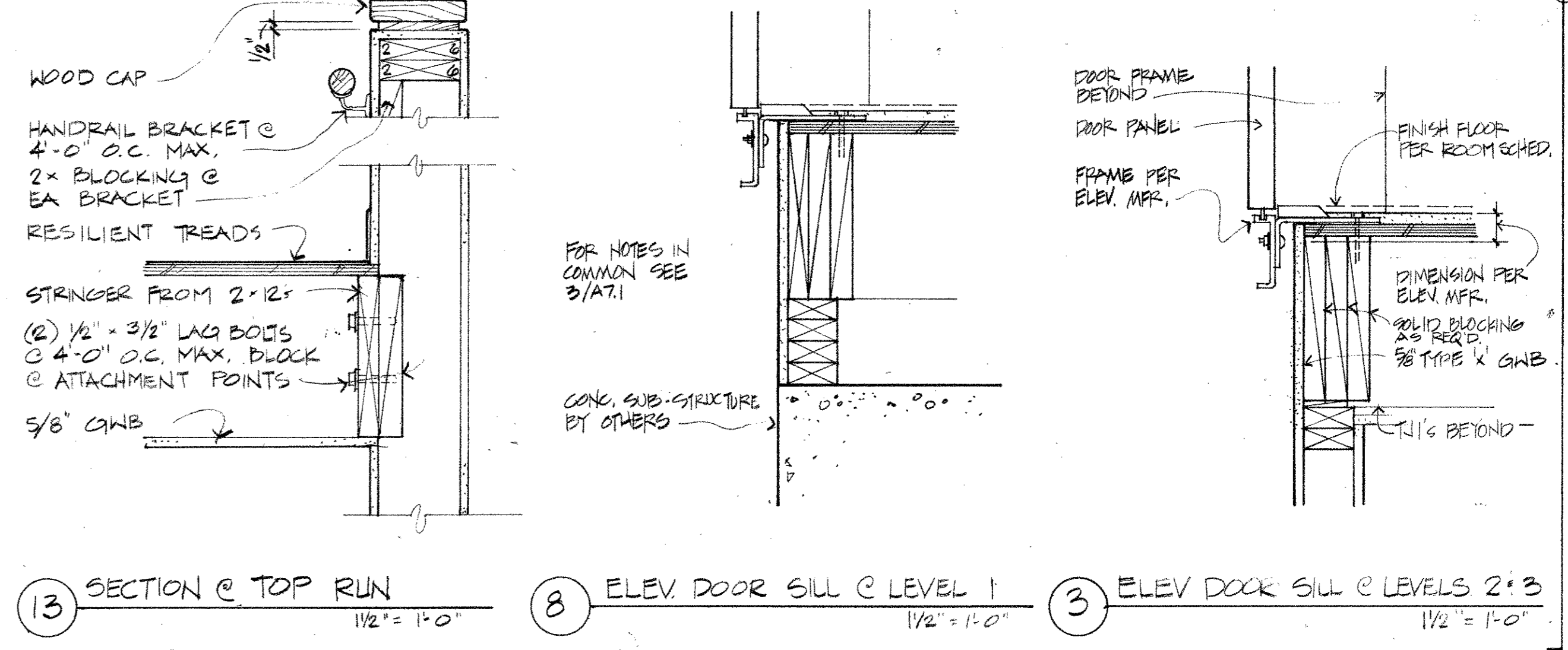
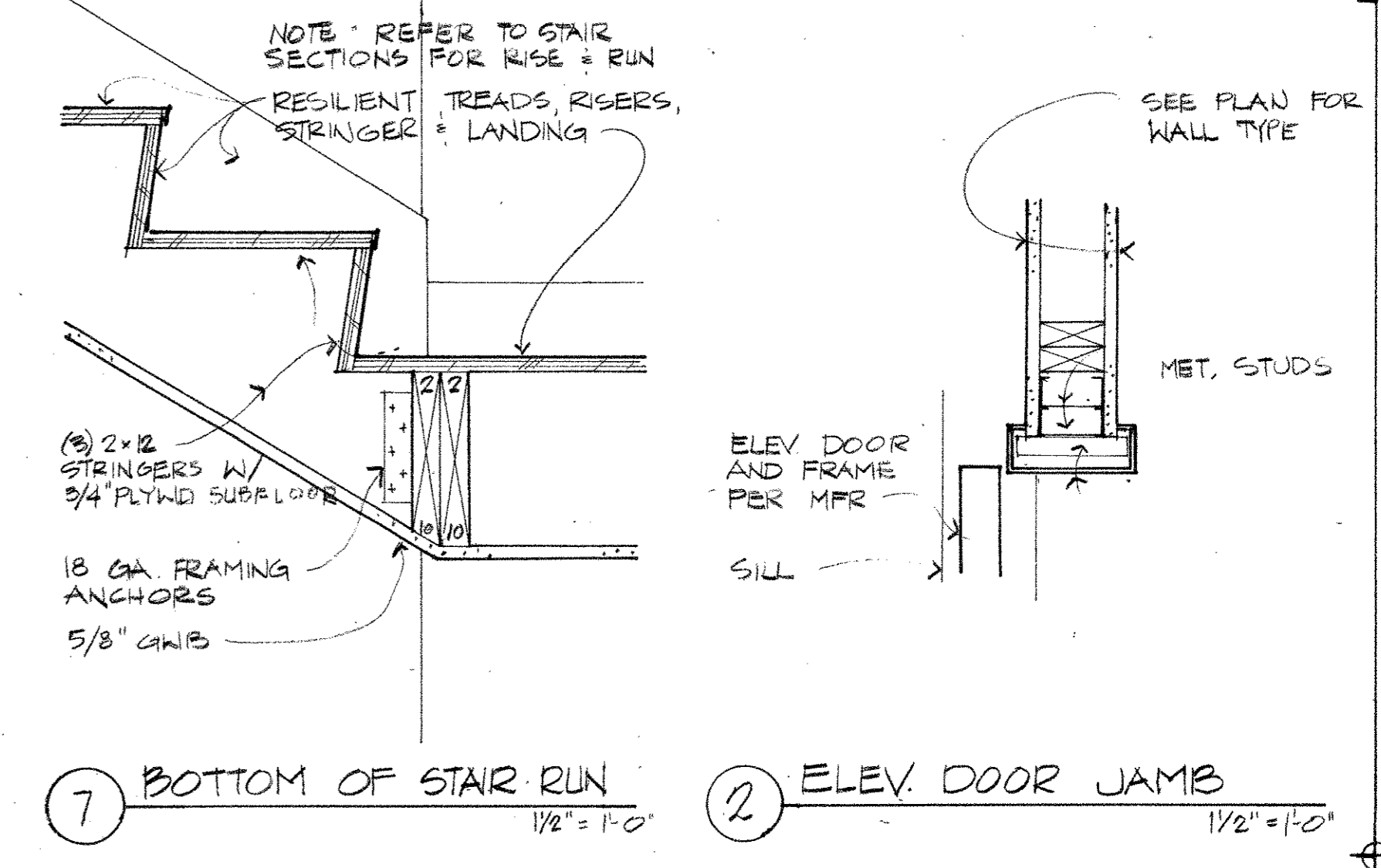
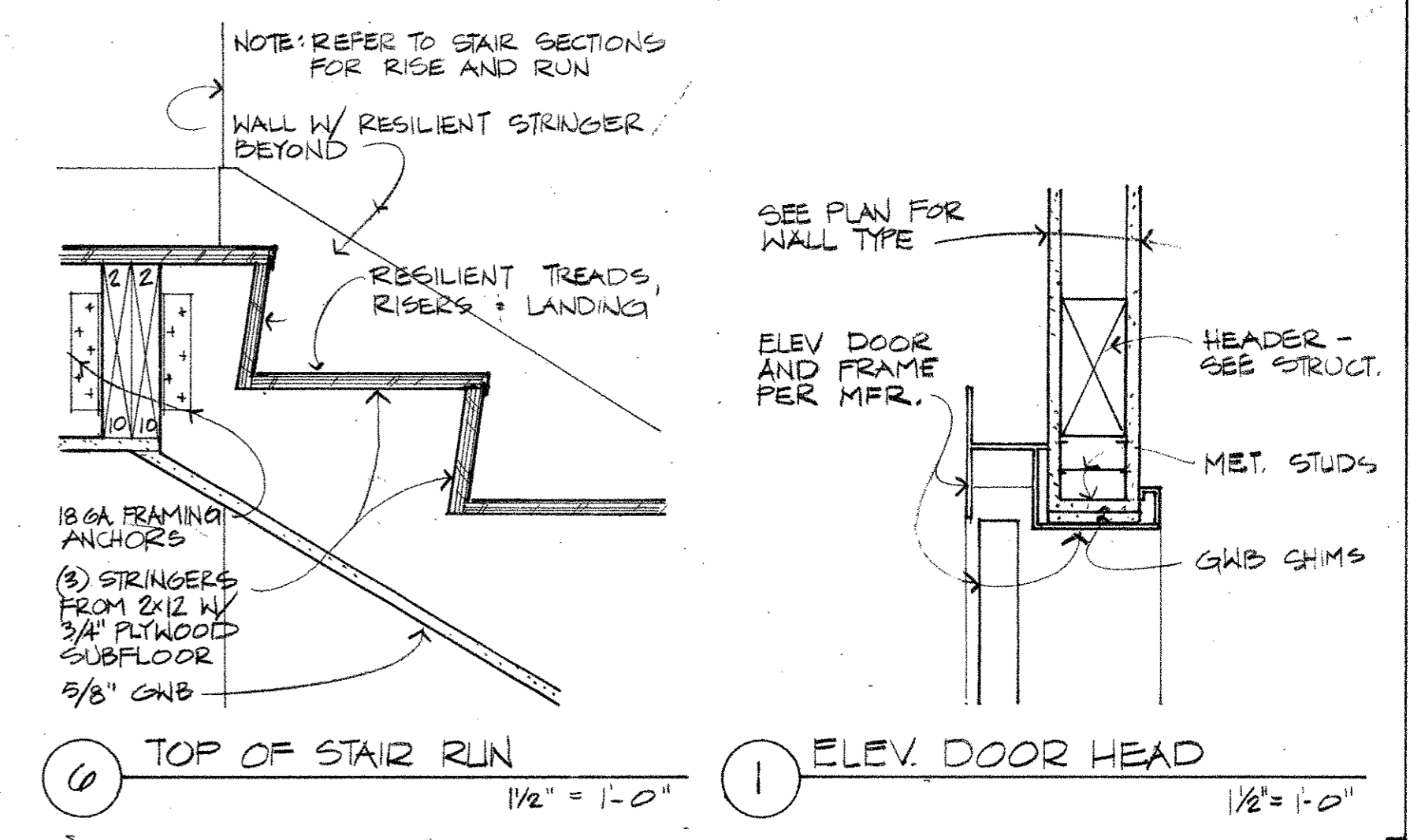
Project No
UNIT POWER AND COMMUNICATION PLAN

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No	Revisions	Date

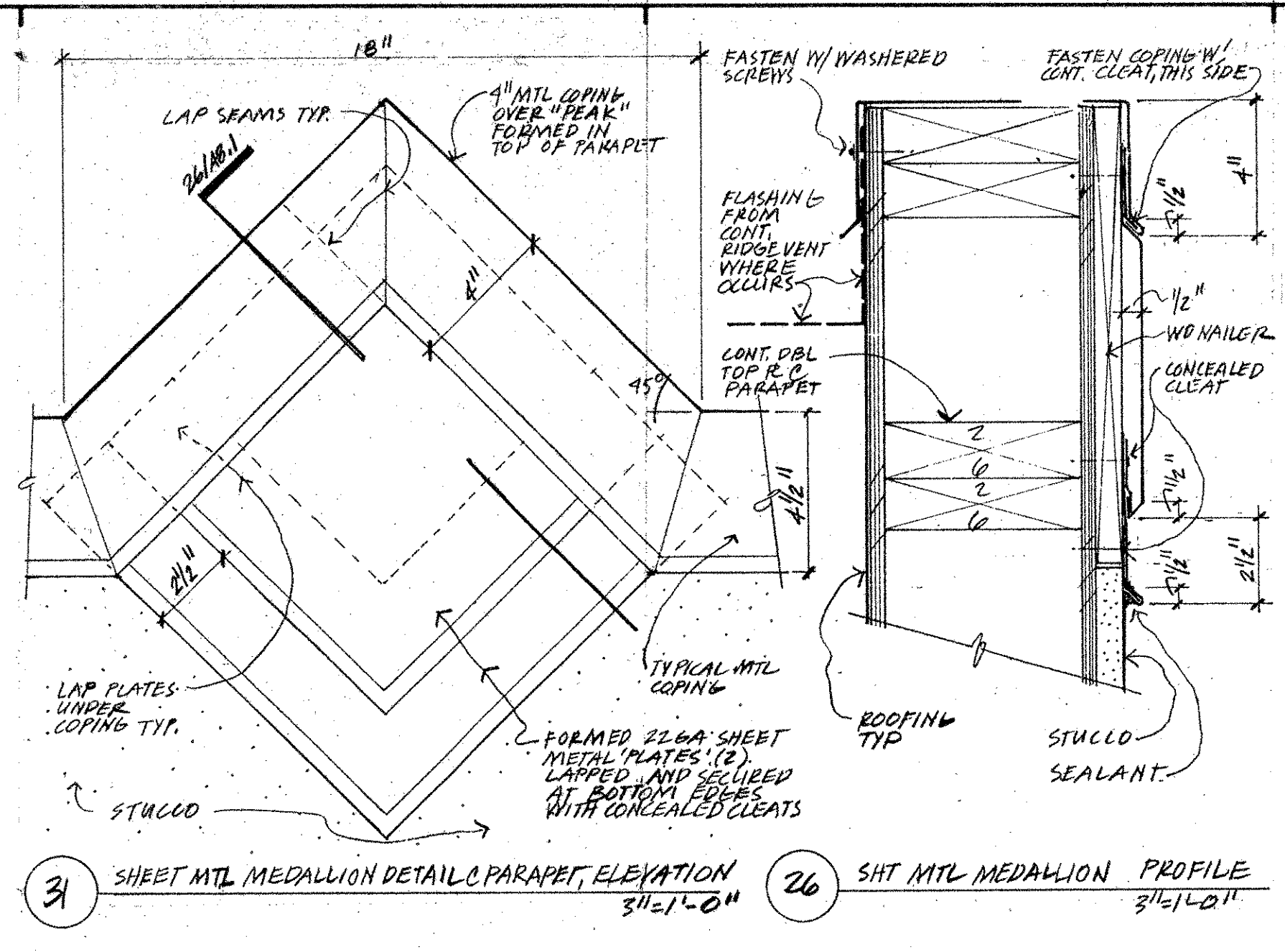
Date
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Project No 1114.01

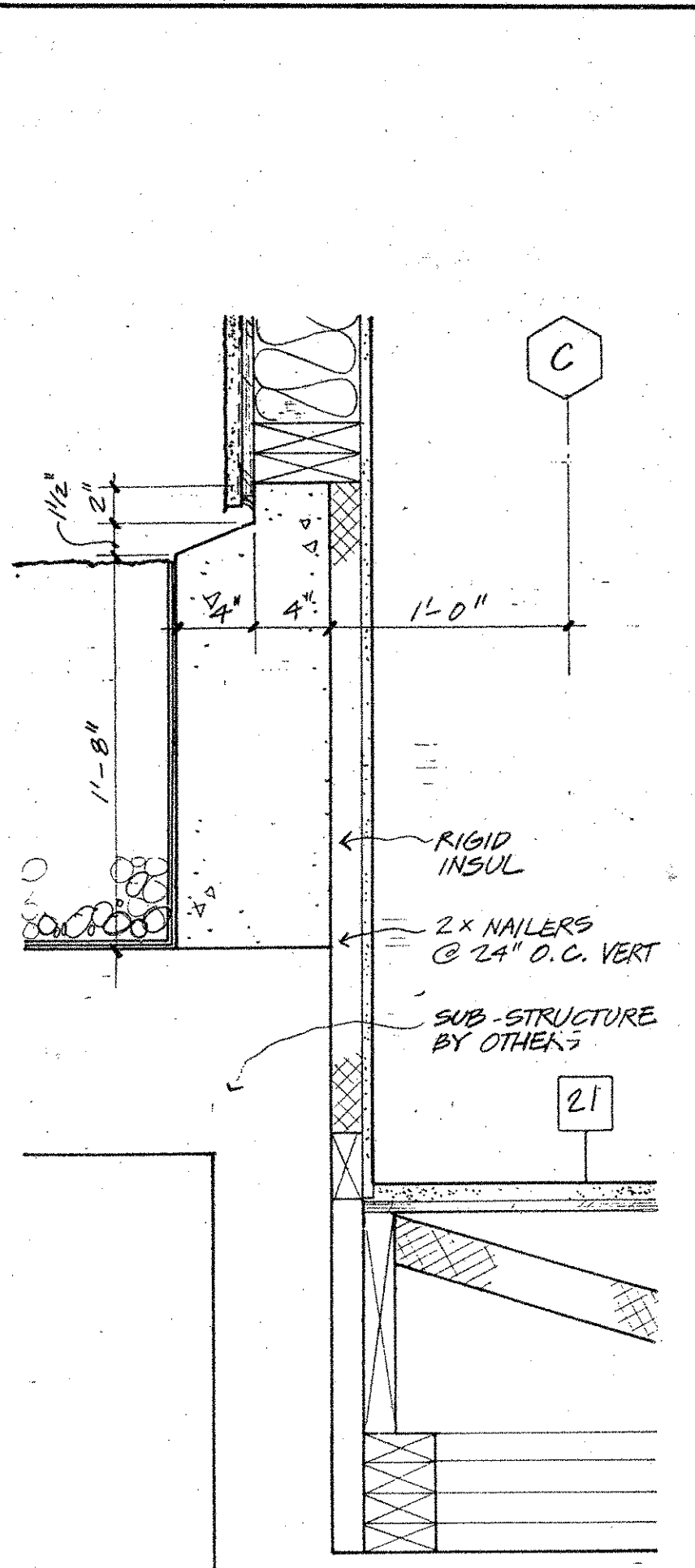
STAIR & ELEVATOR SECTIONS

A7.1

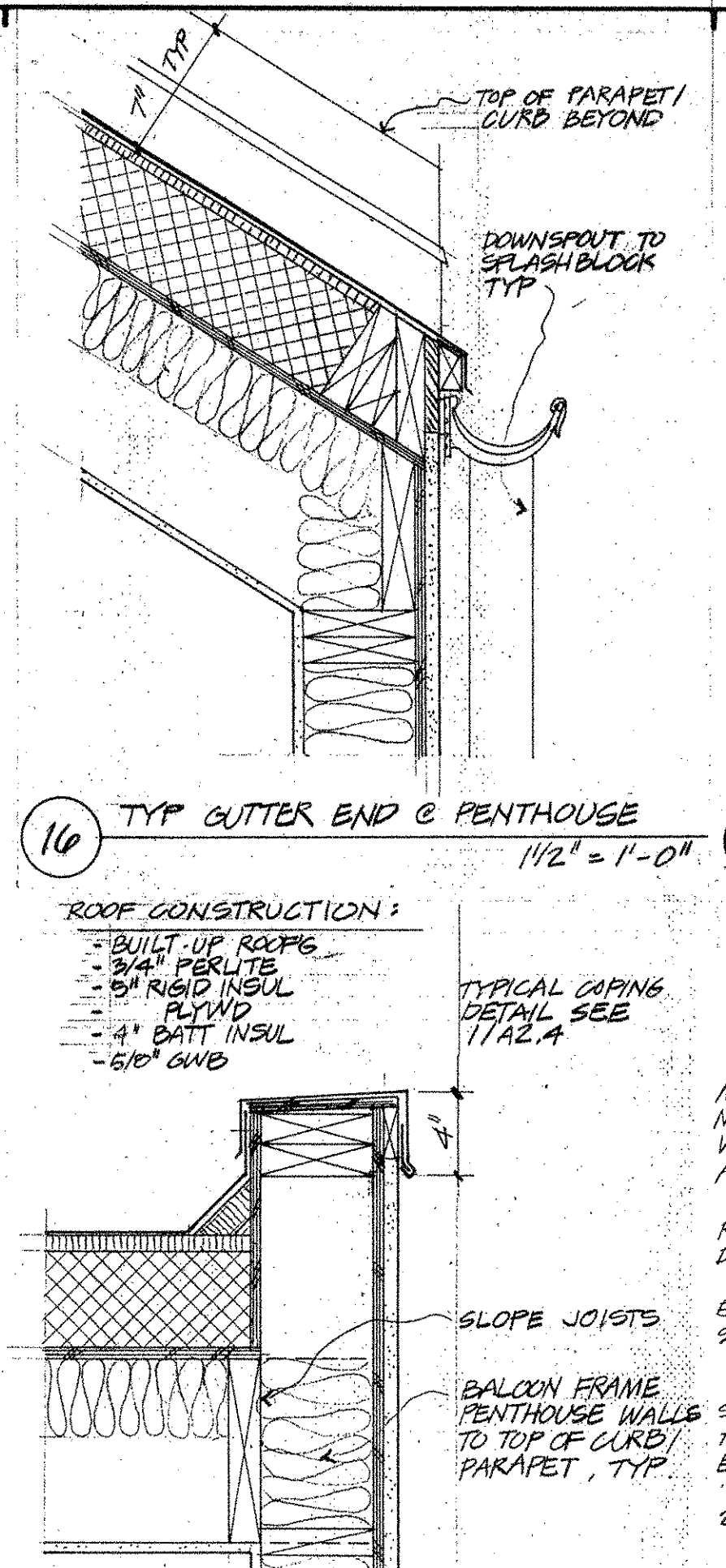
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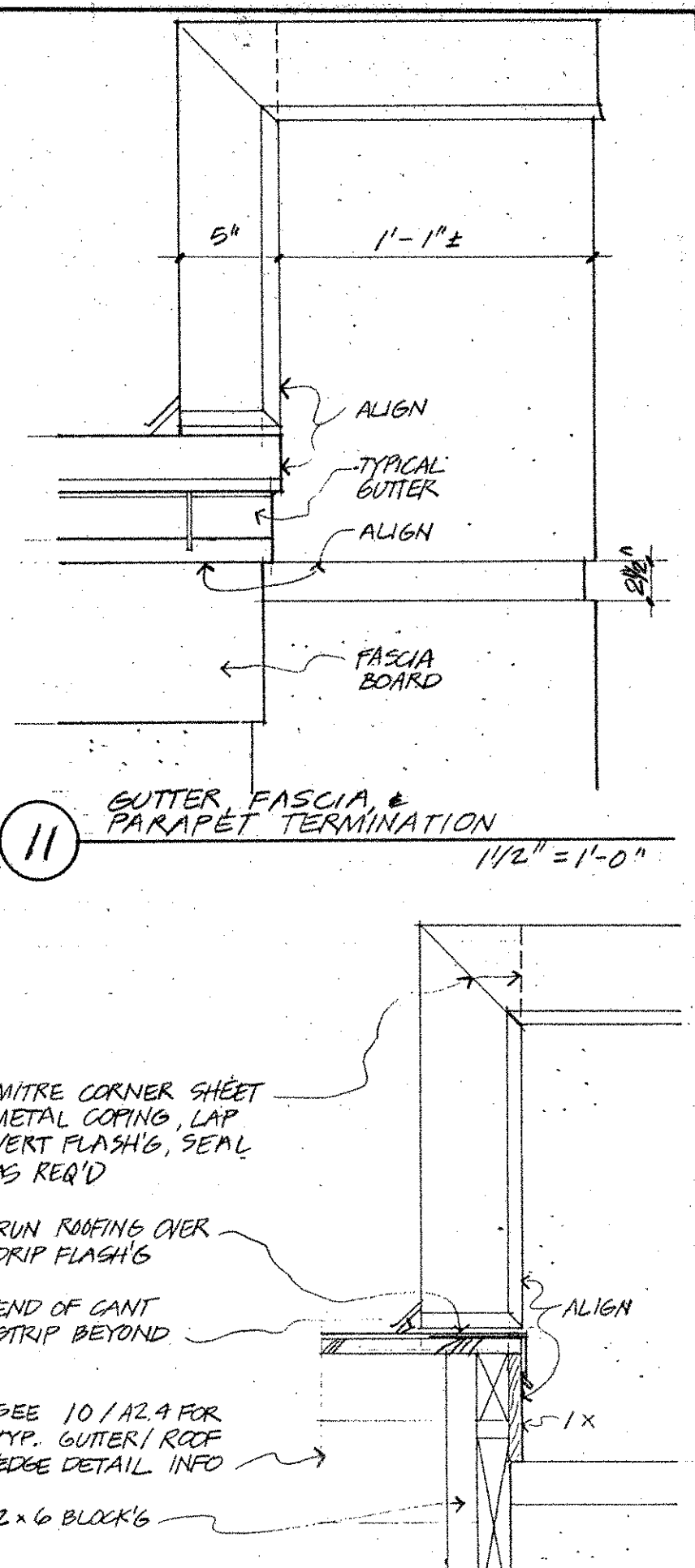
31 SHEET METAL MEDALLION DETAIL OF PARAPET, ELEVATION 3/16" = 1'-0"
 32 SHT METAL MEDALLION PROFILE 3/16" = 1'-0"



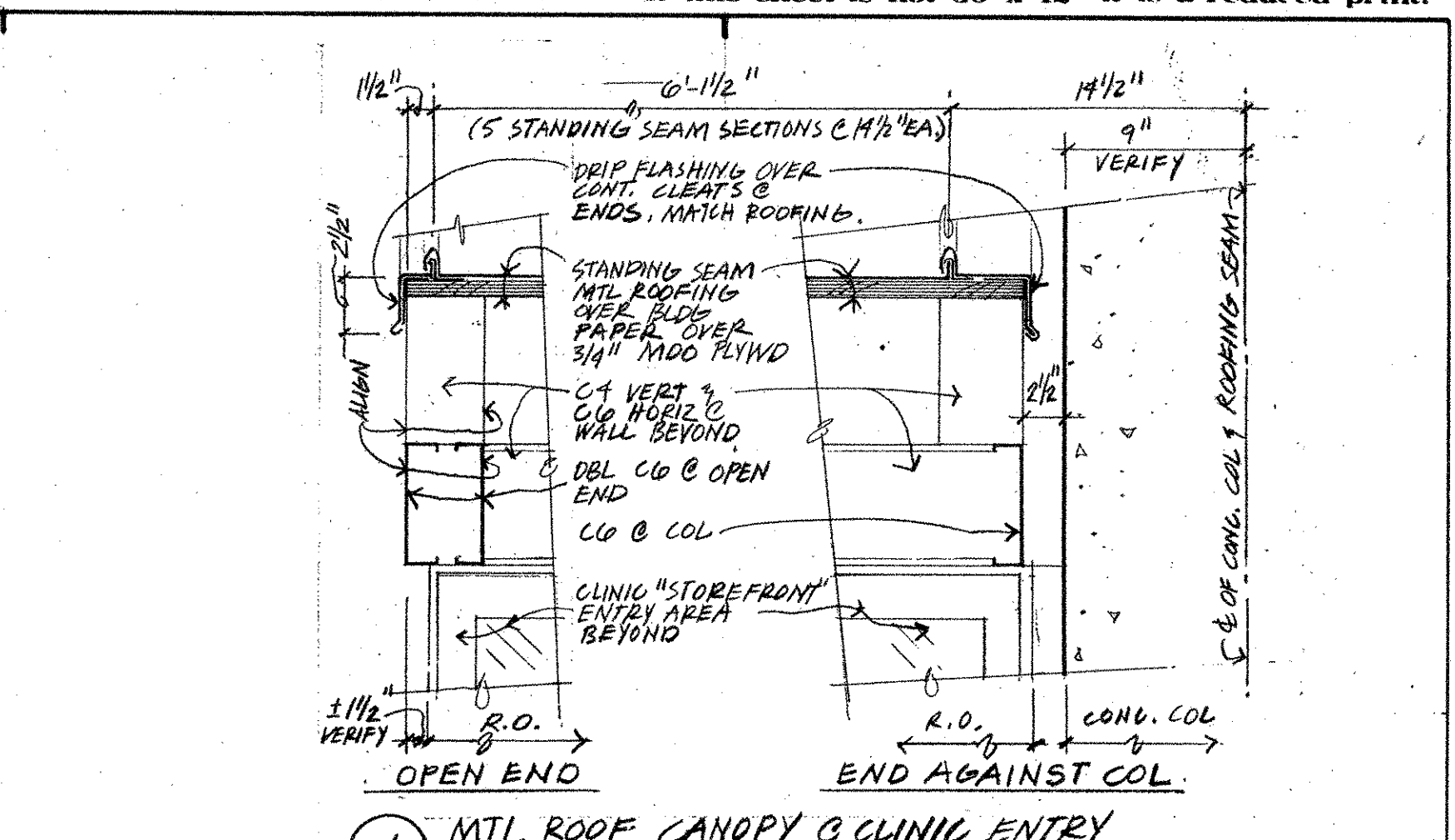
21 RIGID INSUL
 2x NAILERS @ 24" O.C. VERT
 SUB-STRUCTURE BY OTHERS



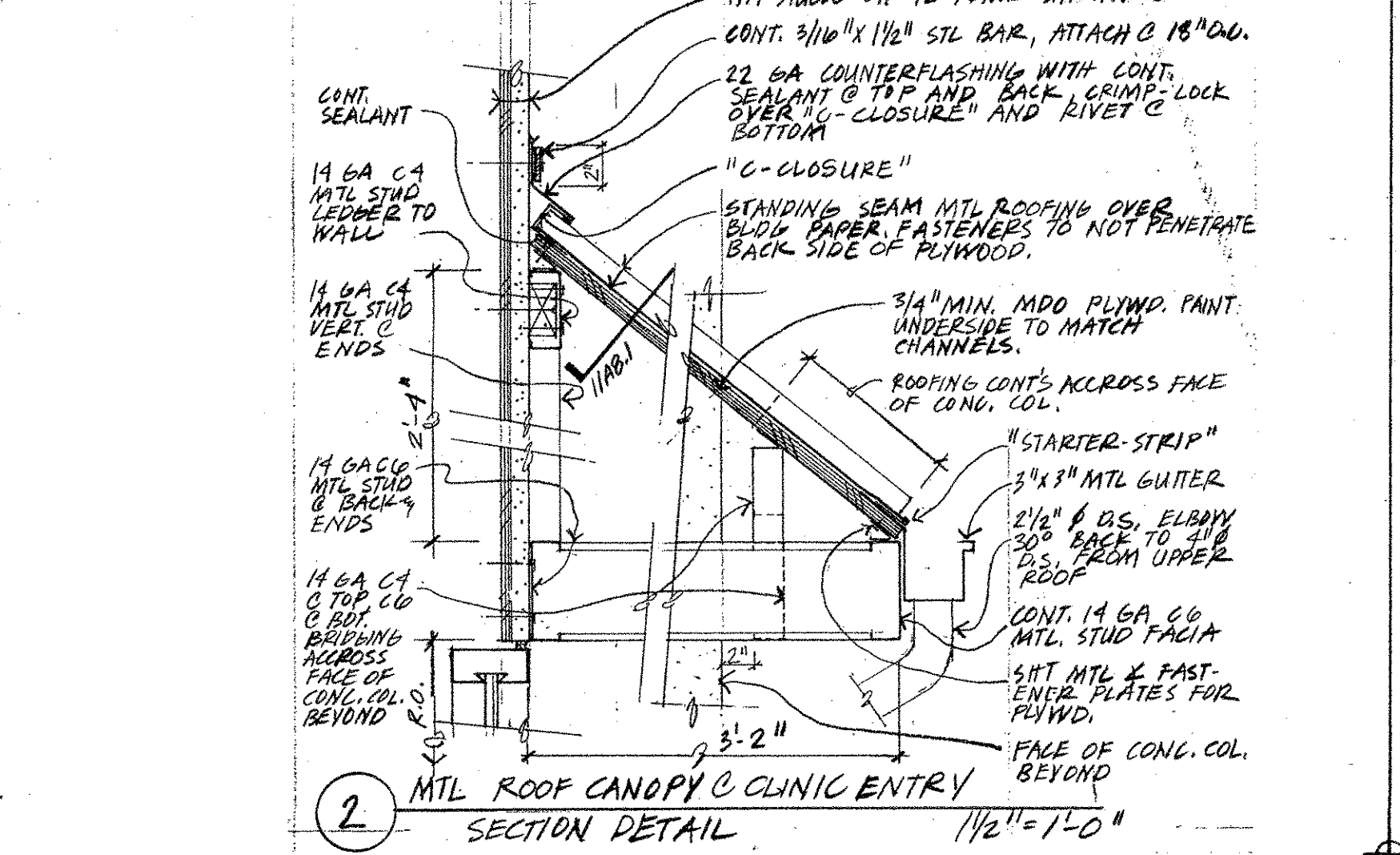
10 TYP GUTTER END & PENTHOUSE 1/2" = 1'-0"
 ROOF CONSTRUCTION:
 - BUILT UP ROOFING
 - 3/4" FELT
 - 5" RIGID INSUL
 - 1" LV
 - 4" BACK INSUL
 - 6" GWB



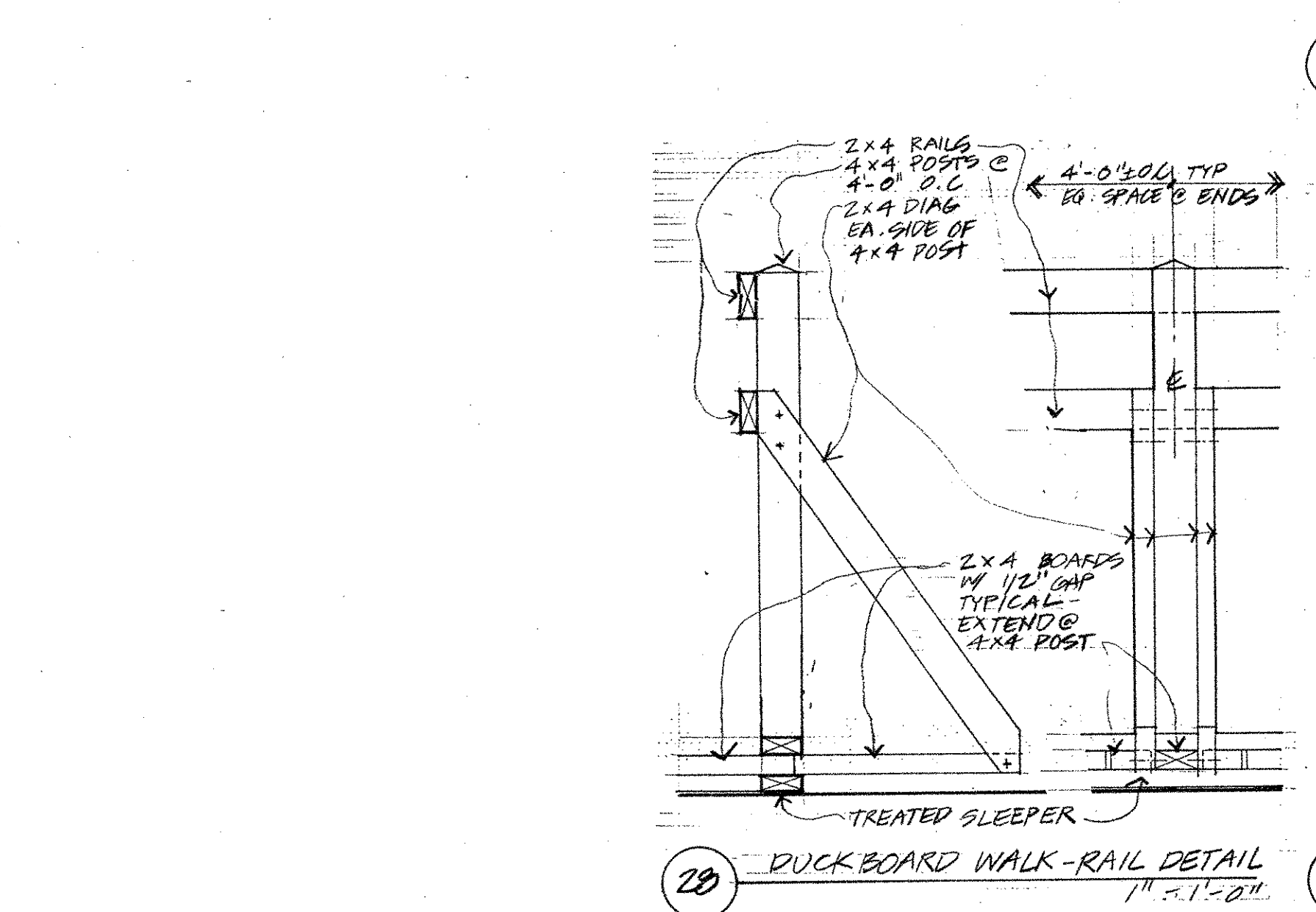
11 GUTTER FASCIA & PARAPET TERMINATION 1/2" = 1'-0"



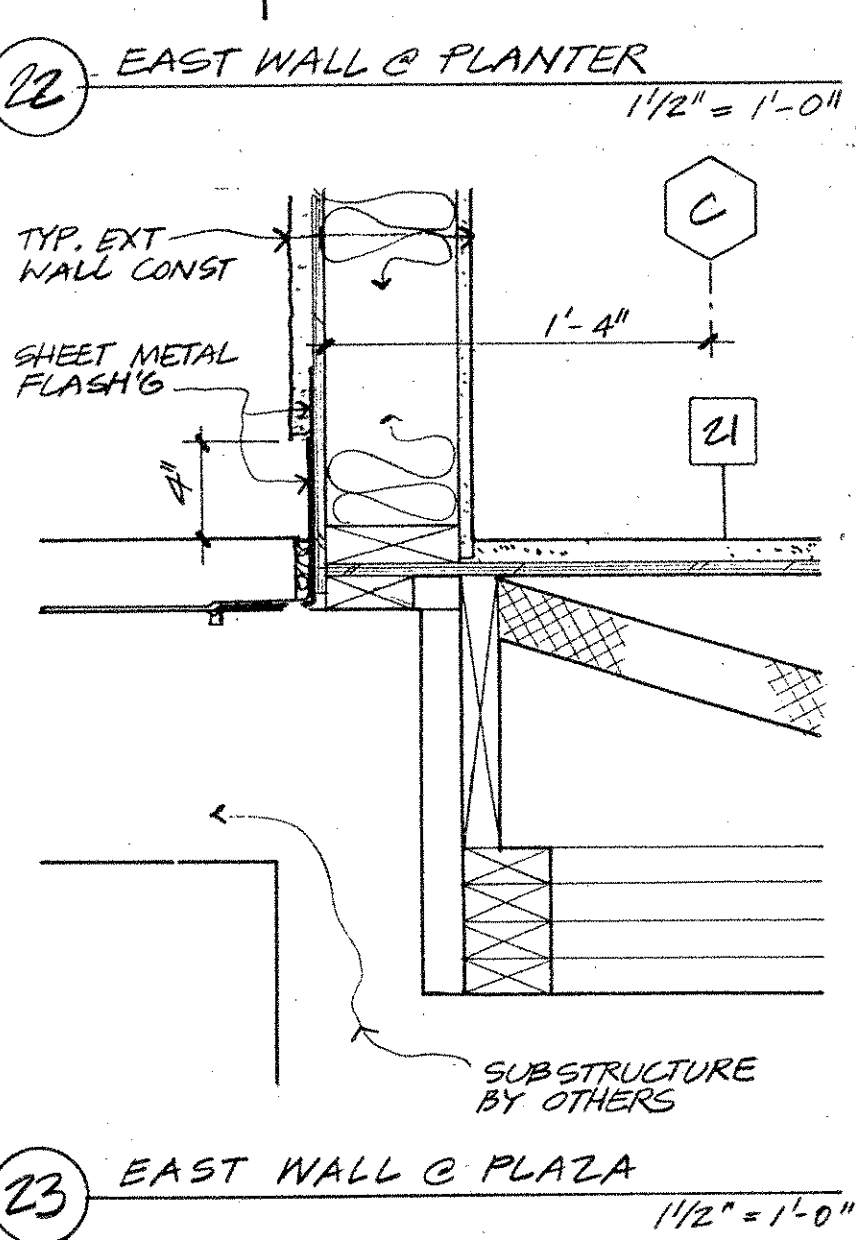
1 MTL ROOF CANOPY & CLINIC ENTRY
 NOTE: DETAIL IS SYMMETRICAL ABOUT COL. 1/2" = 1'-0"



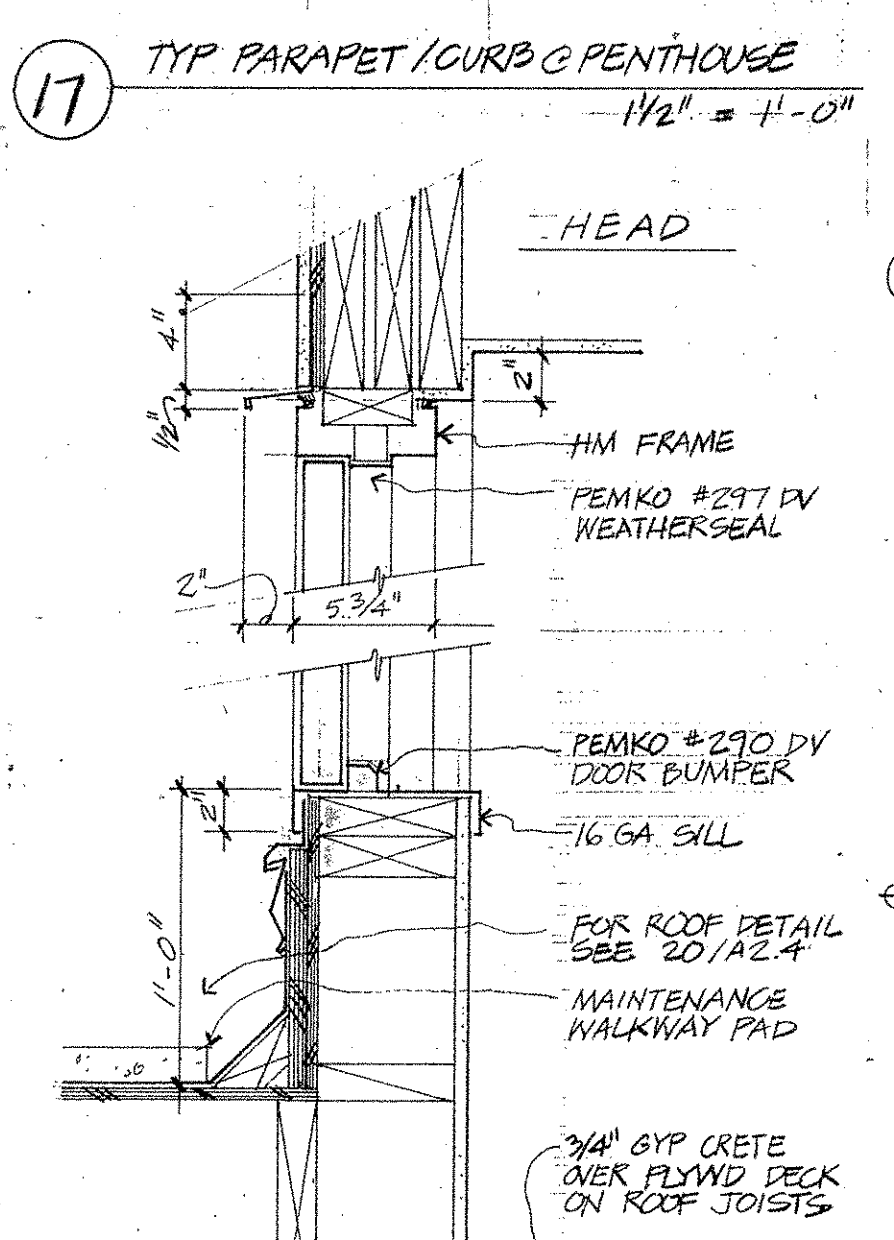
2 MTL ROOF CANOPY & CLINIC ENTRY SECTION DETAIL 1/2" = 1'-0"



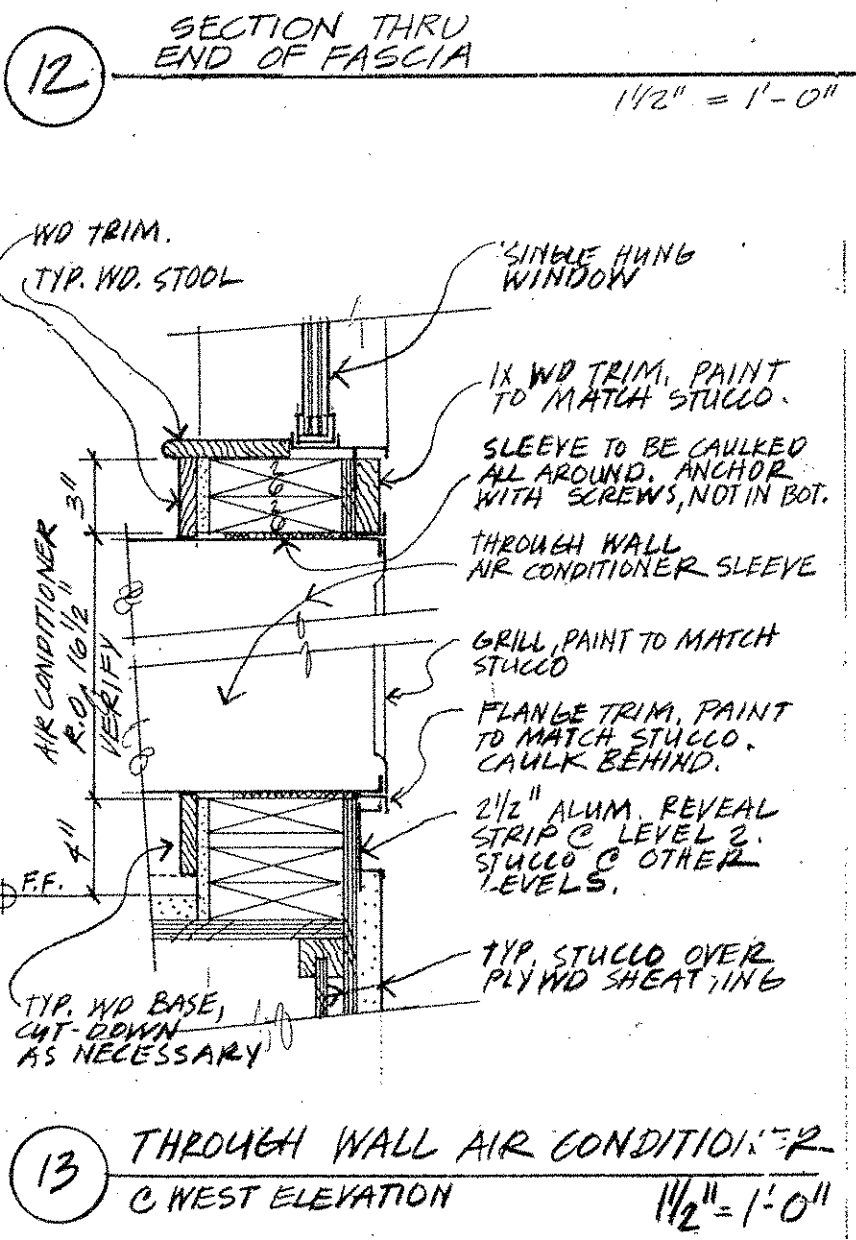
28 DUCKBOARD WALK-RAIL DETAIL 1" = 1'-0"



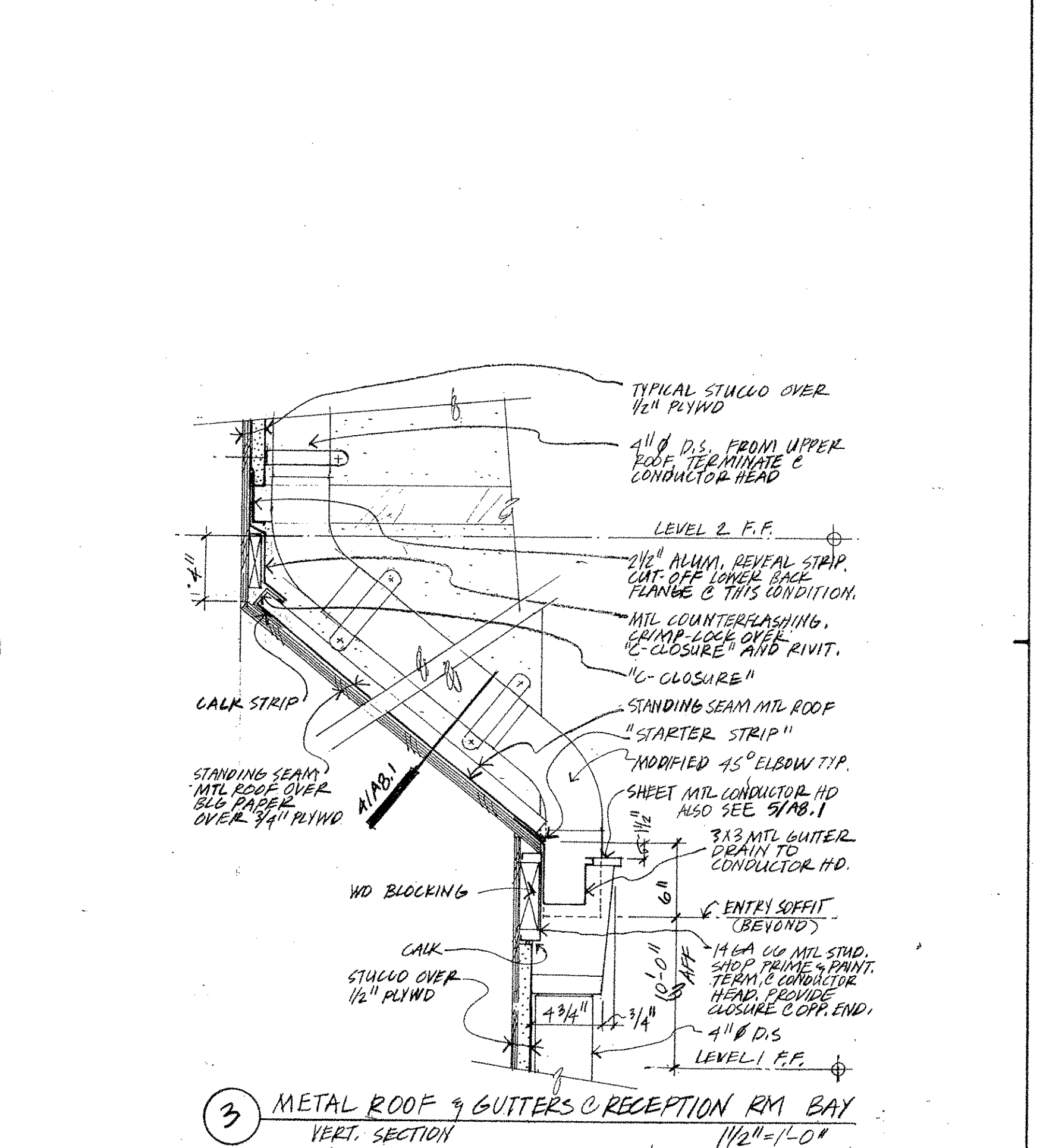
23 EAST WALL & PLAZA 1/2" = 1'-0"



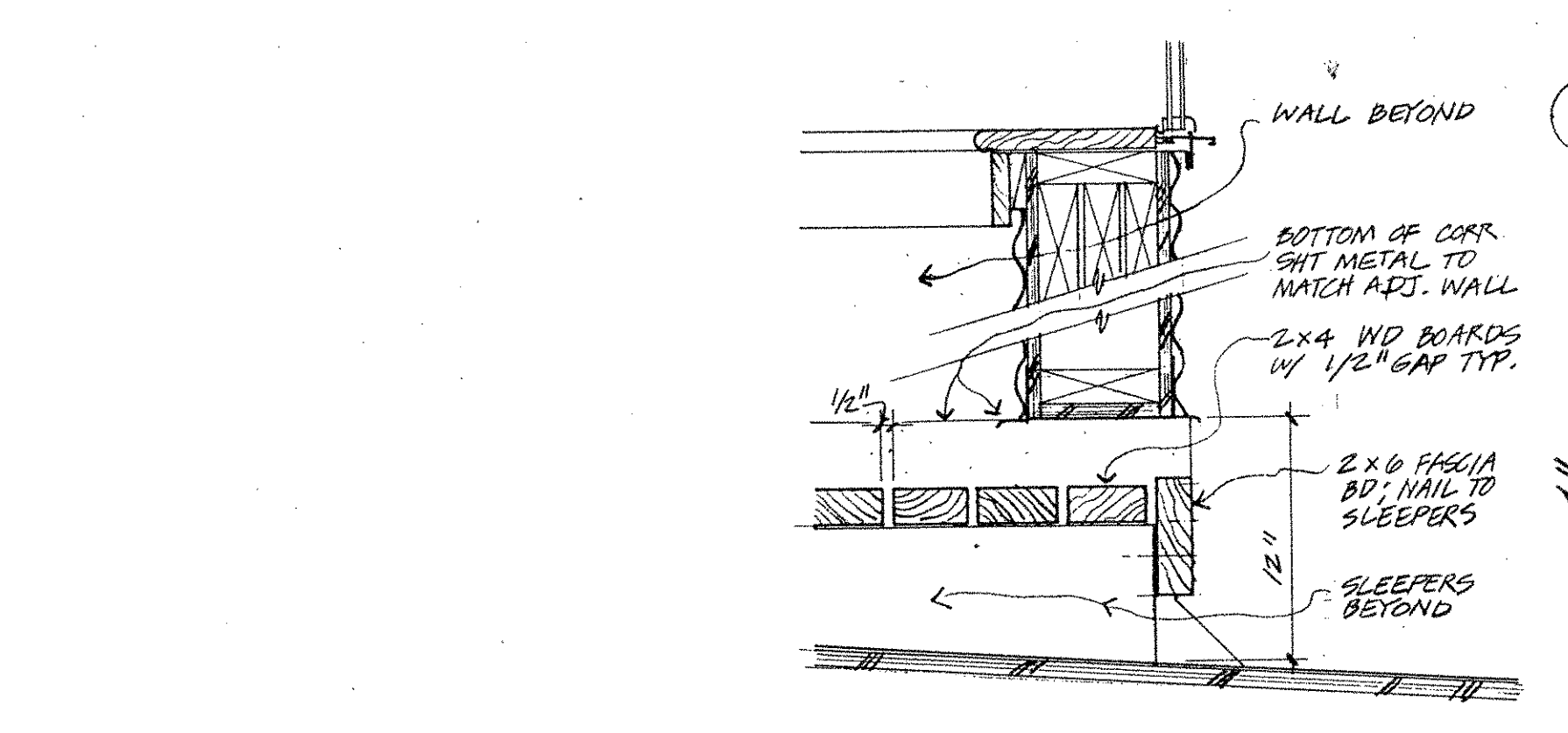
17 TYP PARAPET/CURB & PENTHOUSE 1/2" = 1'-0"



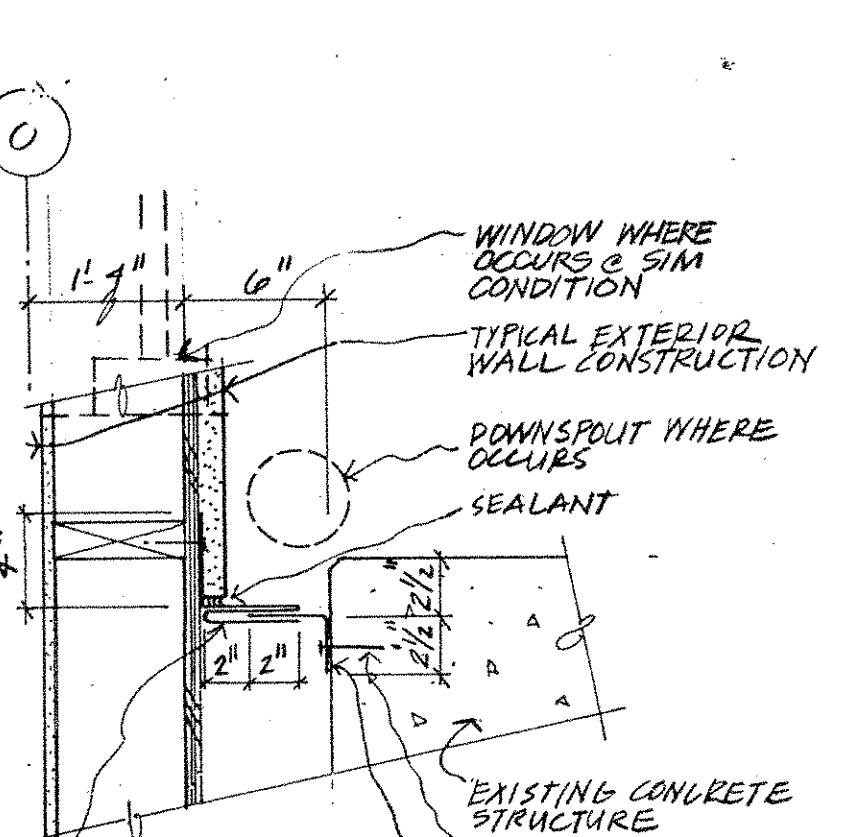
12 SECTION THRU END OF FASCIA 1/2" = 1'-0"



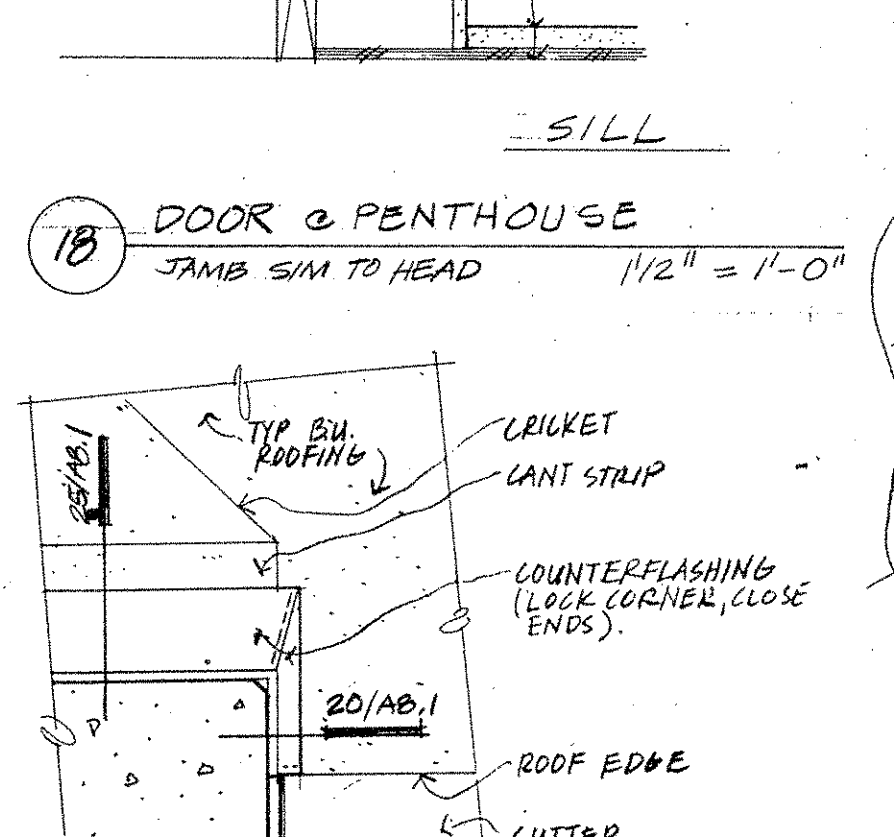
3 METAL ROOF & GUTTERS @ RECEPTION BAY VERT. SECTION 1/2" = 1'-0"



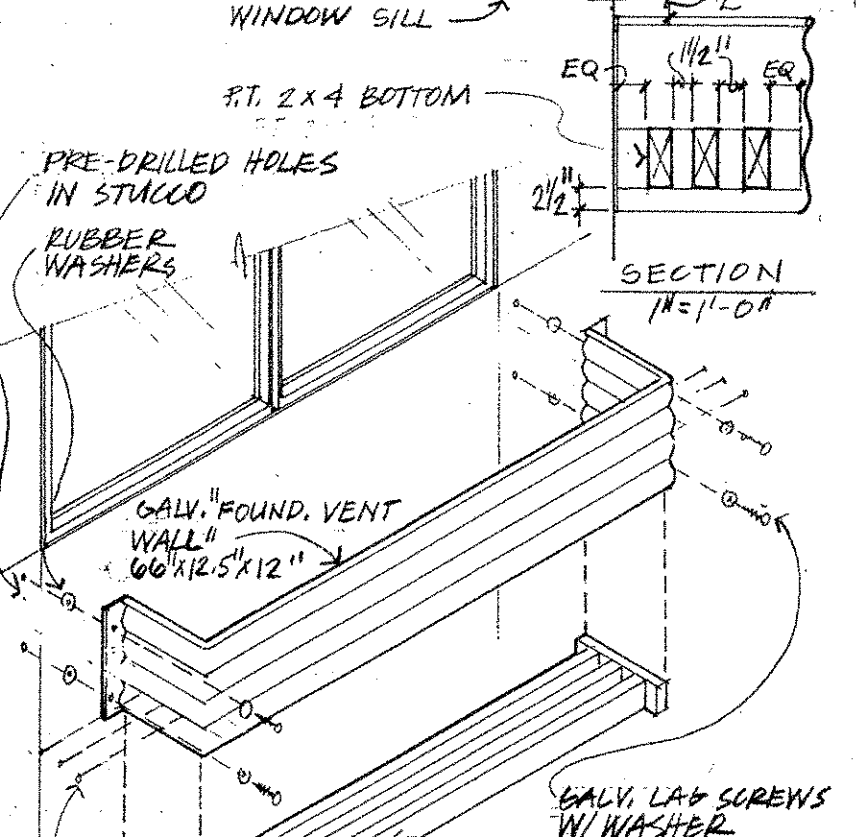
29 COVERED DECK - WALL DETAIL 1/2" = 1'-0"



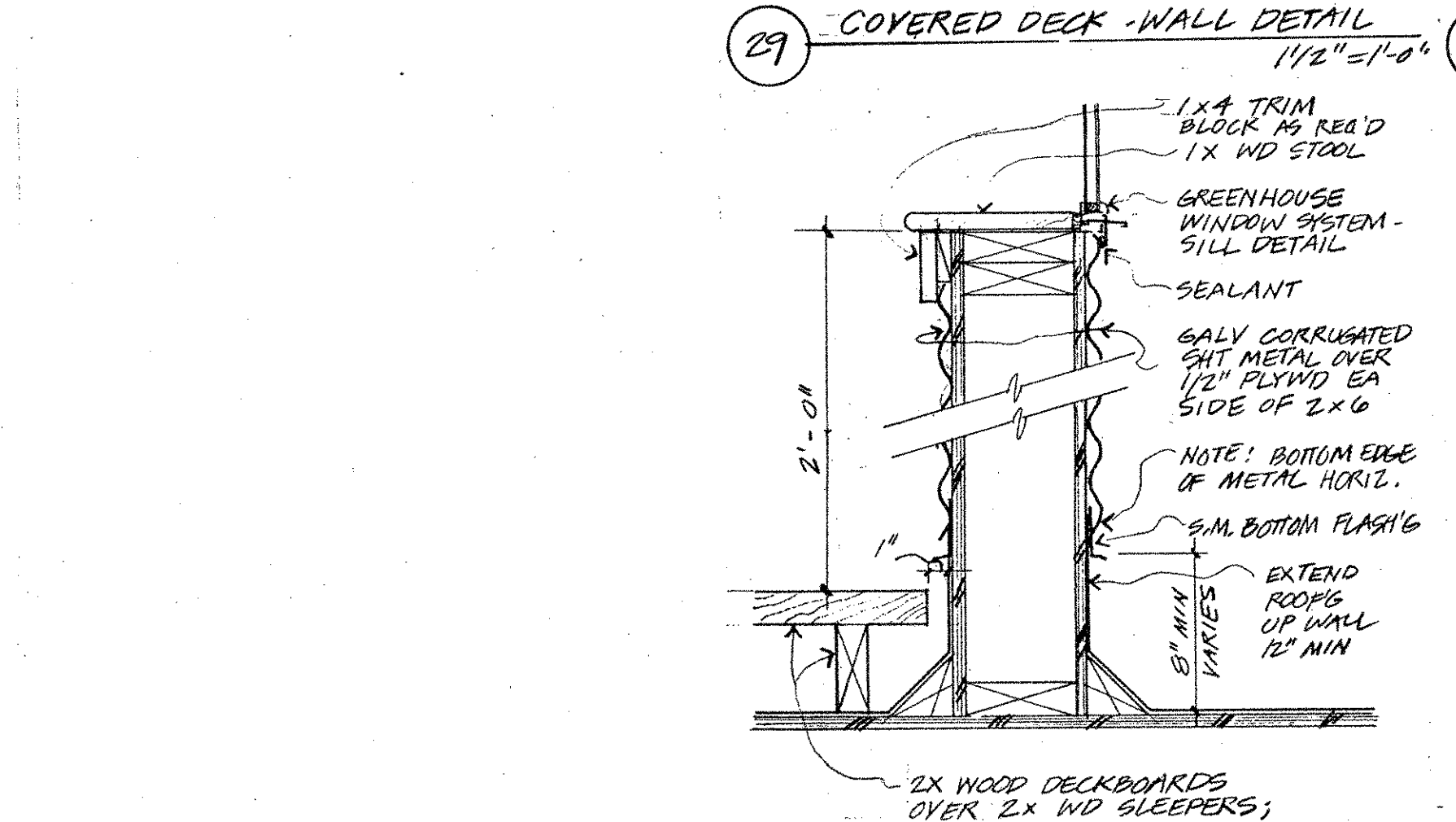
24 SEPARATION JT. @ EXISTING CONG. PLAN DETAIL 1/2" = 1'-0"



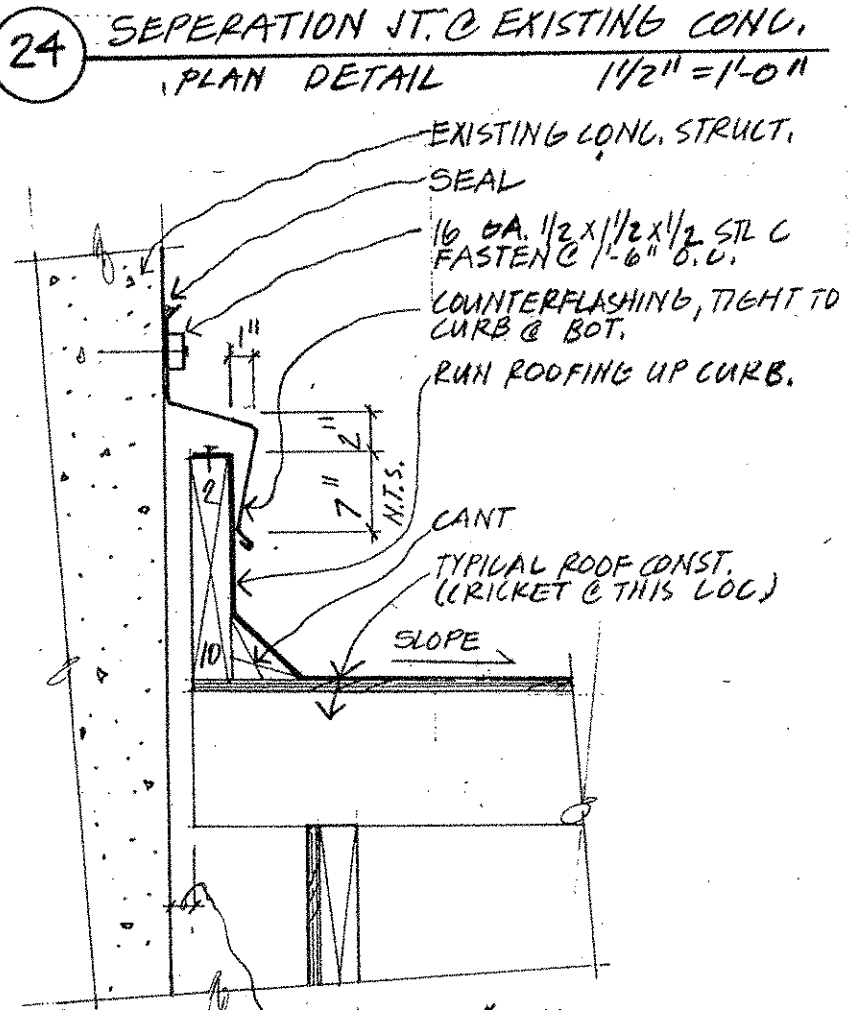
18 DOOR & PENTHOUSE JAMB SIM TO HEAD 1/2" = 1'-0"



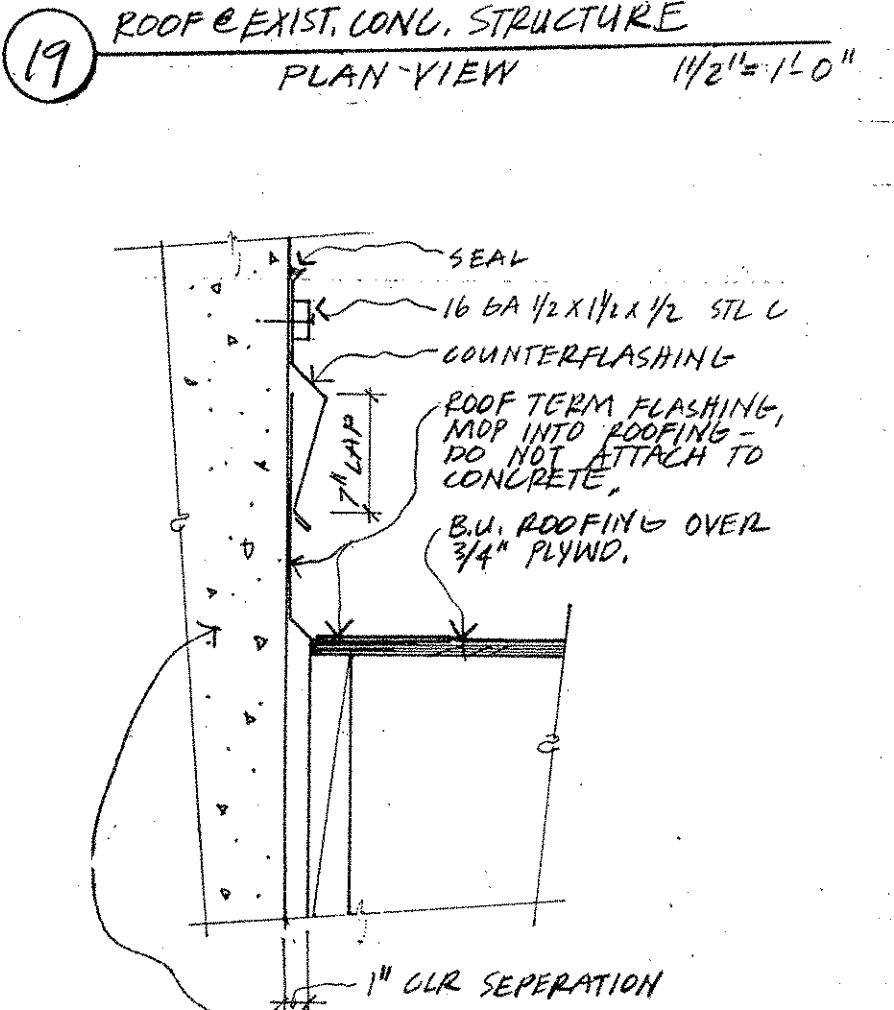
14 TYP WINDOW PLANTER BOX DETAIL AXONOMETRIC, NO SCALE



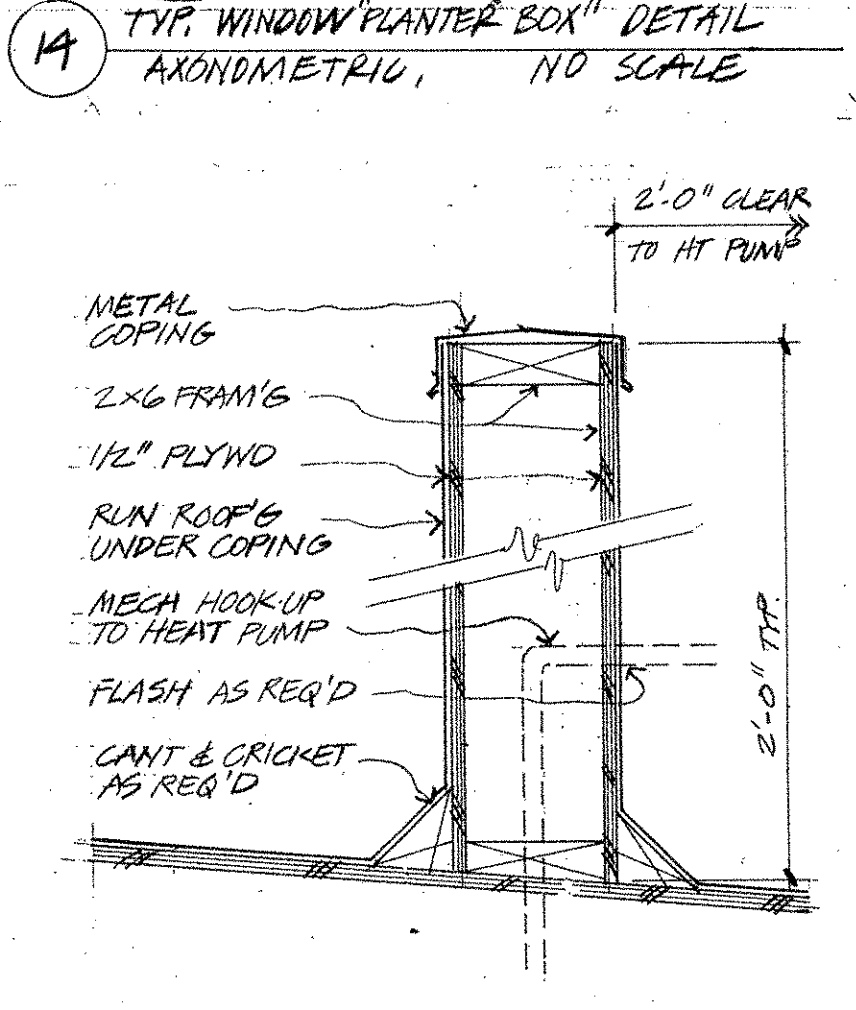
30 COVERED DECK - WALL DETAIL 1/2" = 1'-0"



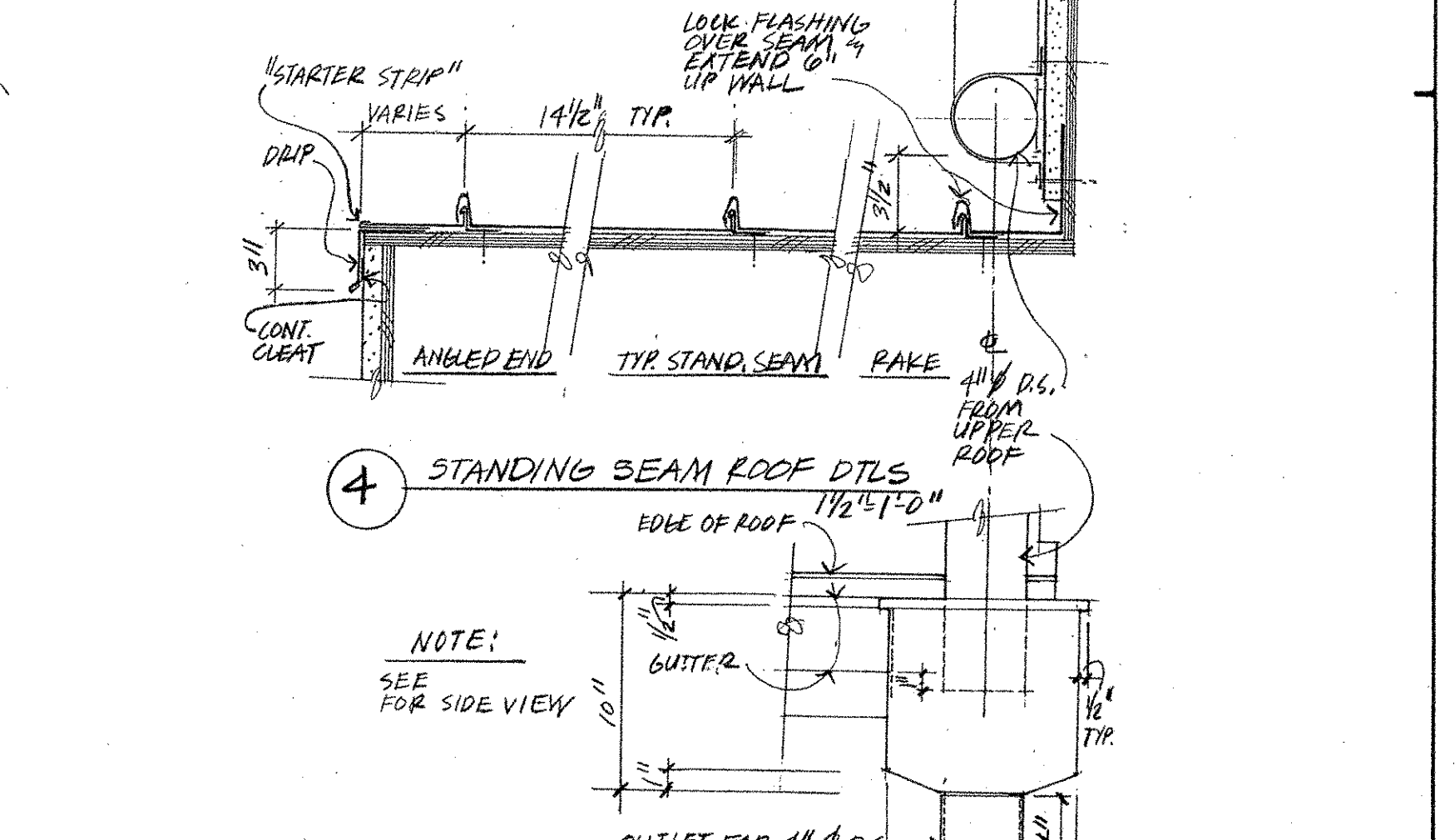
25 ROOF FLASHING @ EXISTING CONG. ROOF/WALL SECTION 1/2" = 1'-0"



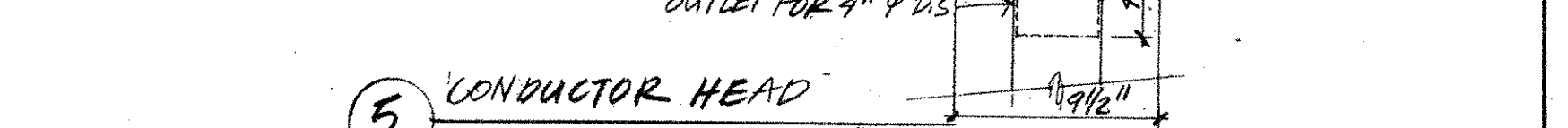
20 ROOF @ EXIST CONG STRUCTURE SECTION 1/2" = 1'-0"



15 HEAT PUMP STUB WALL 1/2" = 1'-0"



4 STANDING BEAM ROOF DTLS 1/2" = 1'-0"



5 CONDUCTOR HEAD ELEVATION 1/2" = 1'-0"

THE BUMGARDNER ARCHITECTS
 A WASHINGTON CORPORATION
 101 STEWART STREET
 SUITE 300
 SEATTLE, WASHINGTON 98101
 206-223-1361

REGISTERED ARCHITECT
 DAVID R. WRIGHT
 STATE OF WASHINGTON

PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No.	Revisions	Date

Project No 1114.01

DETAILS

A8.1

DEPARTMENT OF CONSTRUCTION AND LAND USE
MULTI-FAMILY / COMMERCIAL COVER SHEET



APPLICANT INFORMATION

PROJECT ADDRESS: 1525 - 29 WESTERN AVENUE

DESCRIPTION OF WORK: 62 UNIT CONDO/CONTE CARE HOUSING
FACILITY FOR AMBULATORY SEMI-DEPENDENT PERSONS,
ALSO RETAIL SPACE CLINIC AND COMMERCIAL
KITCHEN SHELLS ONLY.

OWNER: PFM, PEA CONTRACTOR: HAUSH CONSTRUCTION
DESIGN PROFESSIONAL(S): THE BUMGARDNER ARCHITECTS
CONTACT PERSON: MARIA GONZALEZ (DIVISION ONE) PHONE 224-7980

APPLICATIONS/PERMITS RELATED TO PROJECT: MUP: PROJECT NO. 18805890; SEE ALSO: SHIELD & SCAFF PERMIT # 63182; CATERER COURT NO. 91264

EXISTING USE: NA PROPOSED USE: NA

PARKING SPACES: EXISTING * ON-SITE 535 OFF-SITE ---
PROPOSED * ON-SITE --- OFF-SITE ---
OFF-SITE LOCATION: ---

NUMBER OF DWELLING UNITS: EXISTING 0 DEMOLISHED ---
PROPOSED NEW 62 * UNDER CONSTRUCTION PERMIT NO. 631812

GRADING: YES CUT CUBIC YDS --- MAXIMUM HEIGHT ---
NA FILL CUBIC YDS --- MAXIMUM HEIGHT ---

DISPOSAL SITE: ---

SOILS REPORT PROVIDED: YES NO

CONTACT WITH NEIGHBORHOOD COMMUNITY COUNCIL: YES NO

BUILDING DATA: MULTIPLE BUILDINGS THIS PROJECT? YES
IF MULTIPLE BUILDINGS ARE NOT IDENTICAL, COMPLETE THE FOLLOWING FOR EACH DIFFERENT BUILDING. ATTACH APPENDIX PAGES AS NECESSARY.

NEW BUILDING OR ADDITION -- COMPLETE THE FOLLOWING TABLE

BUILDING ID(S): 1-1 (LIST ID OF ALL IDENTICAL BUILDINGS)

FLOOR LEVEL(S)	GROUP	USE	FLOOR AREA	SPRINKLER (Y IF YES)	OTHER FIRE PROTECTION
1	R-1	RESIDENTIAL	11,583	Y	
2	R-2	RETAIL/CLINIC KITCHEN	4,845	Y	
3	R-1	RESIDENTIAL	17,463	Y	
3	R-1	RESIDENTIAL	12,465	Y	

BUILDING ID(S): --- (LIST ID OF ALL IDENTICAL BUILDINGS)

FLOOR LEVEL(S)	GROUP	USE	FLOOR AREA	SPRINKLER (Y IF YES)	OTHER FIRE PROTECTION

REMODEL

CONSTRUCTION VALUE: --- TYPE OF CONSTRUCTION: ---

SPRINKLER: YES NO OTHER FIRE PROTECTION: ---

CHANGE OF OCCUPANCY: NO YES, FROM/TO: ---

IS THIS BUILDING AIR CONDITIONED? YES NO

ENERGY / MECHANICAL CODE COMPLIANCE INFORMATION:

(1) BUILDING ENVELOPE: COMPLETE BOTH SECTION (A) AND (B)

(A) Check compliance path used:
 Prescriptive Path (Section 502.3.1) Component Tradeoff (Section 502.3.3)
 Component Performance (Section 502.3.2) Annual Energy Analysis (Chapter 4)

Calculations attached located on plan page ---

(B) WINDOW SCHEDULE: For residential include AAMA tested U-values. See 16 403 for U-value information.
Window schedule located on plan page A.2.3

(2) MECHANICAL SYSTEM:
Is this a commercial project with mechanical permit included in this submittal? YES NO
Is this a mechanical permit associated with an active building application? YES * NO

(a) SPACE HEATING SYSTEM: Check appropriate box

Electric	existing	new
Heat pump	<input type="checkbox"/>	<input type="checkbox"/>
Gas, Oil, Steam, Other	<input type="checkbox"/>	<input type="checkbox"/>

(b) DESIGN HEATING LOAD CALCULATIONS FOR EQUIPMENT SIZING
Maximum Heating Load: --- Calculations attached located on plan page ---

(c) EQUIPMENT EFFICIENCY
Equipment schedule (manufacturer, model, size and efficiency information located on plan sheet(s)) M-1

For residential projects with heatpump, oil or gas systems, check appropriate category to indicate required efficiency:
Glazing Provided
Prescriptive path with 5.60 HSPF 65% AFUE
75 tested double glazing
Prescriptive path with 6.35 HSPF 74% AFUE
90 tested double glazing
Other Compliance paths 6.35 HSPF 74% AFUE

(3) LIGHTING SYSTEMS:
Projects with parking garages over 3000 sq. ft. or with commercial space -- Check One:
 No changes being made to lighting.
 Remodeling to existing lighting and the existing lighting wattage is being maintained or reduced.
 A new lighting system is being installed in less than an entire floor or tenant space and existing lighting wattage is not being increased.
 Lighting power budget compliance form attached.
 Reflected ceiling plan and lighting schedule with calculations on plan sheet ---
 Electrical permit already received -- permit # ---
Attach copy of lighting power budget or reflected ceiling plan.

(4) MAJOR PROJECT:
Does building project include new construction of 50,000 sq ft of gross conditioned floor area of other than Group R Occupancy? YES NO If yes, attach summary form from required pre-application conference.

APPLICANT INFORMATION

THE FOLLOWING INFORMATION IS REQUIRED TO BE SHOWN ON YOUR PLANS. PLEASE INDICATE THE PAGE IN YOUR PLANS ON WHICH IT MAY BE FOUND.

YARDS & SETBACKS	PAGE	BUILDING HEIGHT (BLDG CODE)	PAGE
YARDS & SETBACKS	<u>A2.1</u>	BUILDING HEIGHT (BLDG CODE)	<u>A3.1</u>
OPEN SPACE CALCULATIONS	<u>NA</u>	TOPOGRAPHICAL DATA	<u>NA</u>
HEIGHT (LAND USE CODE)	<u>A0.1</u>	GRADING PLAN	<u>NA</u>
LANDSCAPING PLAN	<u>NA</u>	CURB CUTS & WIDTH	<u>NA</u>
ACCESS TYPE & WIDTH	<u>NA</u>	DRAINAGE CONTROL PLAN	<u>NA</u>

LAND USE CONDITIONS (DCLU USE ONLY)

PRIOR TO ISSUANCE OF BUILDING PERMIT:

GENERAL CONSTRUCTION:

PRIOR TO FOUNDATION APPROVAL:

PRIOR TO COVER APPROVAL:

PRIOR TO FINAL APPROVAL (OCCUPANCY):

PERMANENT:

DCLU INFORMATION (DCLU USE ONLY)

PREVIOUS MUPS RELATED TO PROJECT: ---

CHANGE OF USE PROPOSED: YES NO
APPLICANT USE INFORMATION CORRECT: YES NO, CORRECT BELOW

EXISTING USE	SQ FT	PROPOSED USE	SQ FT

NUMBER OF DWELLING UNITS: EXISTING --- DEMOLISHED ---
PROPOSED NEW --- TOTAL ---

PARKING SPACES: EXISTING * ON-SITE --- OFF-SITE ---
PROPOSED * ON-SITE --- OFF-SITE ---
OFF-SITE LOCATION(S): ---

NEW CURB CUT REQUIRED? YES * --- WIDTH --- NO

GRADING: YES CUT & FILL (CUBIC YDS) ---
SOILS REPORT PROVIDED: YES NO

APPLICANT BUILDING DATA CORRECT: YES NO
REMODEL VALUE: ---

EMERGENCY SYSTEMS PROVIDED:

ELEVATOR PRESSURIZATION	<input type="checkbox"/> YES <input type="checkbox"/> NO
STAIRWAY PRESSURIZATION	<input type="checkbox"/> YES <input type="checkbox"/> NO
SMOKE REMOVAL SYSTEM	<input type="checkbox"/> YES <input type="checkbox"/> NO
EXIT AND PATHWAY LIGHTING	<input type="checkbox"/> YES <input type="checkbox"/> NO
EMERGENCY GENERATOR	<input type="checkbox"/> YES <input type="checkbox"/> NO

THE FOLLOWING DCLU INSPECTIONS ARE REQUIRED

LOCATION -- NEW CONSTRUCTION AND ADDITION ONLY
FOUNDATION -- PRIOR TO POURING ANY FOOTINGS OR CONCRETE WALLS
SUB-FLOOR -- WILL BE CALLED OUT BY BUILDING INSPECTOR WHEN REQUIRED
FRAMING -- PRIOR TO INSULATING OR COVERING FRAMING AND CONNECTIONS
INSULATION -- PRIOR TO COVERING INSULATION
NAILING -- WILL BE CALLED OUT BY BUILDING INSPECTOR WHEN REQUIRED
FINAL -- PRIOR TO OCCUPANCY OF NEW AREAS, WHEN WORK IS COMPLETE.

OTHER INSPECTIONS (TRUSSES, BLU-LAMS, MASONRY, ETC.) WILL BE IDENTIFIED BY THE BUILDING INSPECTOR. SPECIAL INSPECTIONS, REQUIRED TO BE PERFORMED BY APPROVED INSPECTORS, ARE IDENTIFIED BELOW.

SPECIAL INSPECTION (DCLU USE ONLY)

SOILS
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- SHORING INSTALLATION AND MONITORING
 - OBSERVE AND MONITOR EXCAVATION
 - VERIFY SOIL BEARING (PSF BEARINGS)
 - SUBSURFACE DRAINAGE PLACEMENT
 - VERIFY FILL MATERIAL AND COMPACTION
 - VERIFY CONDITIONS AS ANTICIPATED
 - PILE PLACEMENT (AUGER CAST / DRIVEN PILE)
 - OTHER

REINFORCED CONCRETE
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- REINFORCING STEEL AND CONCRETE PLACEMENT
 - PRESTRESSED/PRECAST CONCRETE FABRICATION AND ERECTION
 - BATCHPLANT INSPECTION
 - SHOTCRETE
 - GROUTING
 - OTHER

STRUCTURAL STEEL
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- FABRICATION AND SHOP WELDS
 - ERECTION & FIELD WELDS & BOLTING
 - OTHER

STRUCTURAL MASONRY:
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- CONTINUOUS
 - PERIODIC

OTHER
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- CONTINUOUS
 - PERIODIC

OTHER
SPECIAL INSPECTOR: --- PHONE: ---

- ITEMS:
- CONTINUOUS
 - PERIODIC

CODE ALTERNATES (DCLU USE ONLY)

NO
 YES ATTACHED BELOW

ADDITIONAL SUBMITTALS/CRITICAL INSPECTIONS (D)

PRIOR TO FABRICATION

PRIOR TO FOUNDATION APPROVAL

PRIOR TO COVER APPROVAL

PRIOR TO FINAL APPROVAL (OCCUPANCY)

APPROVAL STAMPS (DCLU USE ONLY)

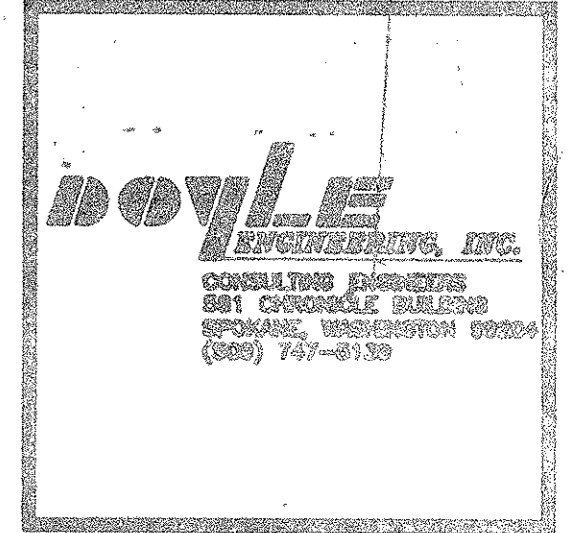
Treat as Environmentally Sensitive Yes No

Reviewer	Concurrence		Revision	
	Initials	Date	Initials	Date
ZONING				
ENVIRONMENTAL/LAND USE				
SHORELINES				
ESTABLISH USE ONLY (FOR RECORD)				
PROTECTED DISTRICTS				
ACCESS / DRIVEWAYS (SED)				
WATER				
FIRE				
HEALTH				
DRAINAGE CONTROL PLAN (SED)				
STREET IMPROVEMENTS (SED)				
GRADING (SED) (DCLU)				
ELEVATOR				
ENERGY				
MECHANICAL				
ISSUED BY				
SITE INSPECTION BY				

NOTE: ANY ELEMENT OF THIS PROJECT ENCRoACHING INTO STREET RIGHT-OF-WAY REQUIRES A SEPARATE STREET USE PERMIT AND PAYMENT OF A SEPARATE FEE.

BUILDING PLANS EXAMINER

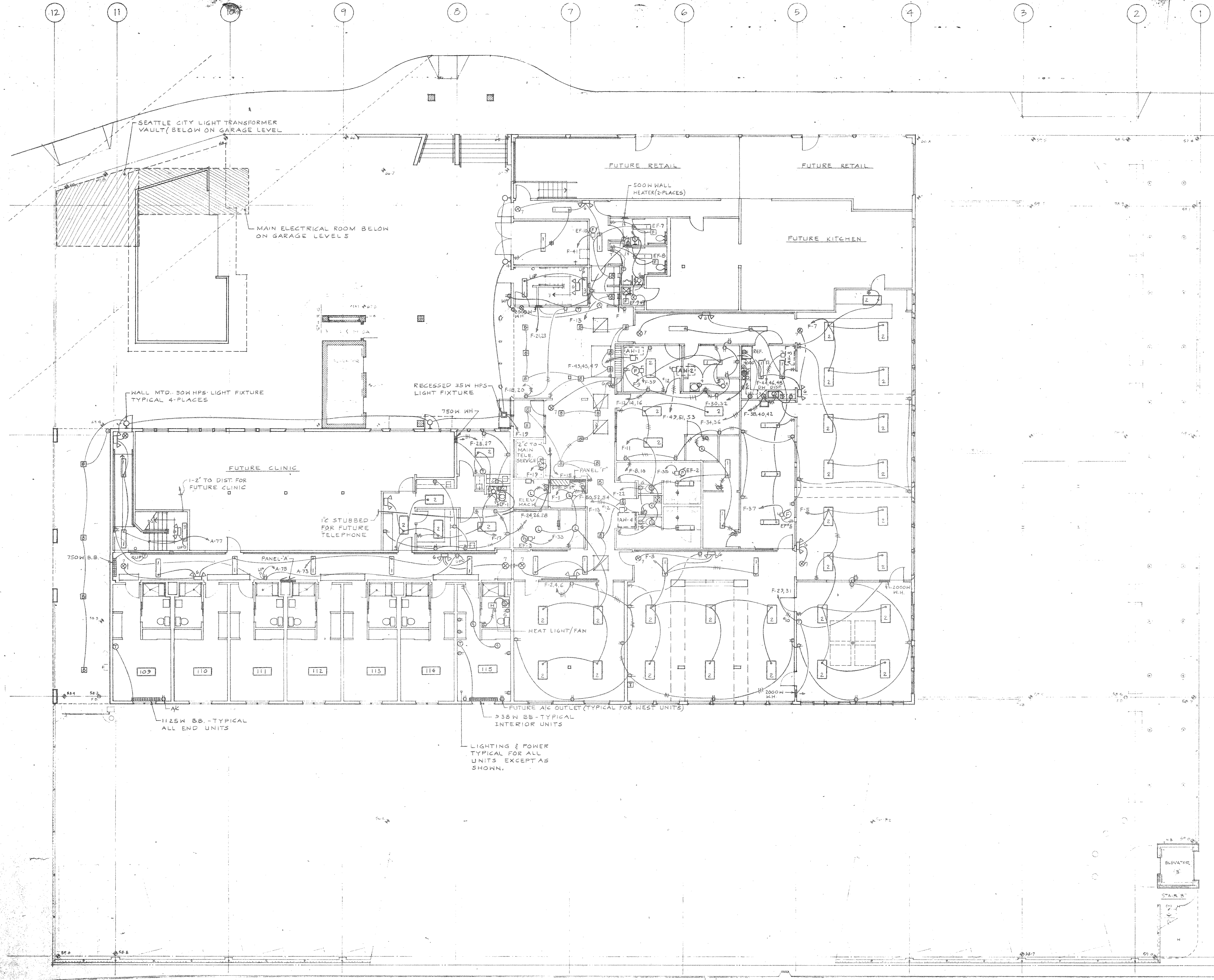
MARKET FOUNDATION
BLDG. PERMIT SET
2-1-89



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
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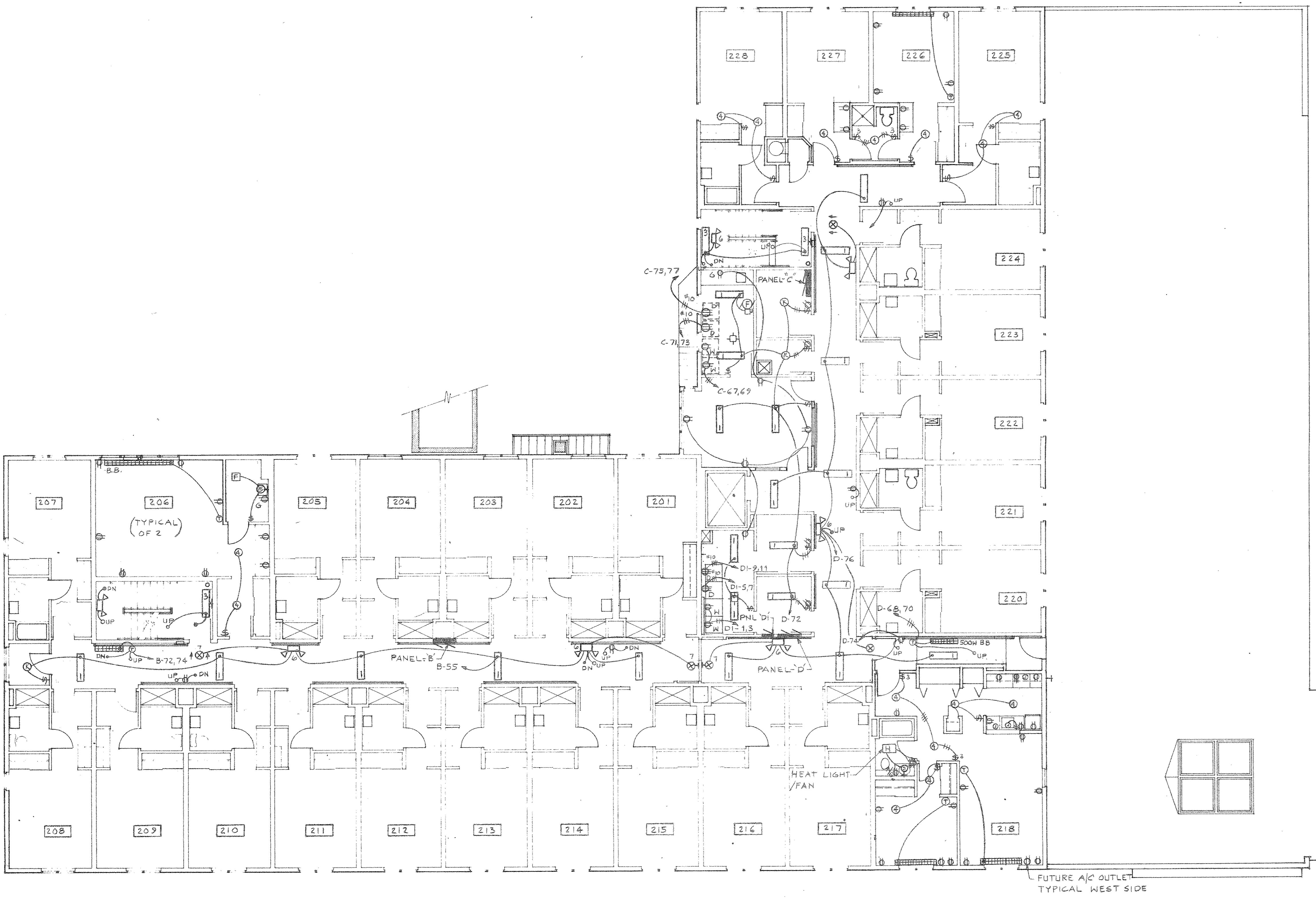
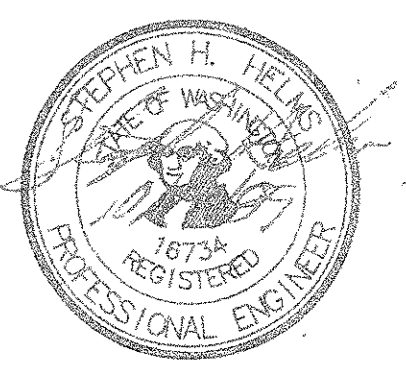
No.	Revisions	Date

Project No. 1114.01
 1ST FLOOR LIGHTING AND POWER PLAN
 E-1



THIS DRAWING PREPARED BY
 DOYLE ENGINEERING INC FOR
 EXCLUSIVE USE BY MERIT ELECTRIC
 INC OF SPOKANE, WASHINGTON FOR
 PIKE PLACE MARKET CONGREGATE
 CARE RESIDENCE, SEATTLE, WASHINGTON.

FIRST FLOOR PAPER SHEET 1114.01 B



ELECTRICAL SYMBOLS LIST

- FLUORESCENT LIGHTING FIXTURE AND OUTLET.
- SURFACE MOUNTED LIGHTING FIXTURE AND OUTLET.
- ⊖ WALL BRACKET LIGHTING FIXTURE AND OUTLET.
- ⊙ KEYLESS LAMPHOLDER.
- ⊕ EMERGENCY LIGHTING UNIT - BATTERY BACKUP.
- ⊗ EXIT LIGHT AND OUTLET - BATTERY BACKUP.
- ⊙ SINGLE POLE FLUSH SWITCH.
- ⊙ 3-WAY FLUSH SWITCH.
- ⊕ COMBINATION SINGLE POLE SWITCH AND GROUNDING DUPLEX RECEPTACLE IN A 2-GANG BOX.
- ⊕ GROUNDING DUPLEX RECEPTACLE, MOUNTED UP 12" OR AS NOTED. RECEPTACLES SHOWN AT COUNTER LOCATIONS ARE TO BE MOUNTED ABOVE COUNTER TOP AND COORDINATED WITH GENERAL CONTRACTOR AND ELEVATIONS. "WP" DENOTES WEATHERPROOF, "G" DENOTES GROUND FAULT CIRCUIT INTERRUPTER (G.F.C.I.).
- ⊕ RANGE OUTLET - 208V-10-50A.
- ⊕ DRYER OUTLET - 208V-10-30A.
- ⊕ JUNCTION BOX WITH FLEX CONDUIT CONNECTION TO ADJACENT EQUIPMENT, 4" SQUARE BOX WITH COVER AS NOTED.
- ⊕ FRACTIONAL HP EXHAUST FAN.
- ⊕ ELECTRICAL BASEBOARD HEATER - SIZE AS INDICATED.
- ⊕ ELECTRICAL WALL HEATER - SIZE AS INDICATED.
- ⊕ MOTOR CONNECTION. NUMERAL DENOTES HORSEPOWER, "F" DENOTES FRACTIONAL HORSEPOWER, WIRING AND CONNECTIONS BY ELECTRICAL CONTRACTOR.
- ⊕ MOTOR STARTER SWITCH. ALL WIRING AND CONNECTIONS BY ELECTRICAL CONTRACTOR.
- ⊕ MOTOR DISCONNECT SWITCH BY ELECTRICAL CONTRACTOR.
- ⊕ MAIN DISTRIBUTION PANEL.
- ⊕ LIGHTING AND POWER PANEL.
- CONDUIT CONCEALED IN WALL OR CEILING. SHORT CROSSHATCHING DENOTES NUMBER OF PHASE CONDUCTORS, LONG CROSSHATCHING DENOTES NEUTRAL. ALL CIRCUITS ARE TO INCLUDE A GREEN INSULATED #12 GROUND WIRE. MINIMUM WIRE SIZE TO BE #12 A.W.G. UNLESS OTHERWISE NOTED.

FIXTURE SCHEDULE

- 1'x4' SURFACE MOUNTED FLUORESCENT FIXTURE, WITH 2-40W LAMPS.
- 2'x4' SURFACE MOUNTED FLUORESCENT FIXTURE, WITH 4-40W LAMPS.
- ⊖ WALL MOUNTED FLUORESCENT FIXTURE, WITH 2-40W LAMPS.
- ⊙ SURFACE MOUNTED INCANDESCENT FIXTURE, WITH 100W LAMP.
- ⊖ WALL MOUNTED INCANDESCENT FIXTURE, WITH 100W LAMP.
- ⊕ WALL MOUNTED EMERGENCY FIXTURE, 2 HEAD, BATTERY BACKUP.
- ⊗ EXIT LIGHT FIXTURE, WITH DIRECTIONAL ARROWS AS SHOWN, CEILING MOUNTED, POWER FROM EMERGENCY LIGHT UNIT.

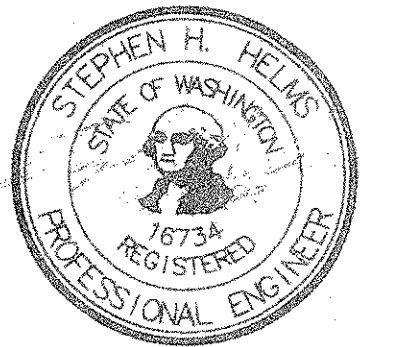
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
 for the SEATTLE HOUSING AUTHORITY
 by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No	Revisions	Date

Project No. 1114.01
 2ND FLOOR
 LIGHTING AND
 POWER PLAN
 FIXTURE SCHEDULE
 LEGEND

THIS DRAWING PREPARED BY
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 INC OF SPOKANE, WASHINGTON FOR
 PIKE PLACE MARKET CONGREGATE
 CARE RESIDENCE, SEATTLE, WASHINGTON.

114-01 B2



Doyle Engineering, Inc. PANEL SCHEDULE 16-Oct-89

PANEL: 01 AMPS: 200 VOLTS: 208Y/120
MAIN: LUGS PHASE: 3

LOCATION: 2ND FLOOR MOUNTING: RECESSED SERIT: NO

NO.	DESCRIPTION	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[J]	[K]	[L]	[M]	[N]	[O]	[P]	[Q]	[R]	[S]	[T]	[U]	[V]	[W]	[X]	[Y]	[Z]
1	WASHER																								
3	WASHER																								
5	DRYER																								
7																									
9	DRYER																								
11																									
13																									
15	1 P - 1																								
17																									
19																									
21	HP - 2																								
23																									
25	SPACE																								
27	SPACE																								
29	SPACE																								
31	SPACE																								
33	SPACE																								
35	SPACE																								
37	SPACE																								
39	SPACE																								
41	SPACE																								

CONNECTED LOAD (KVA)	DEMAND LOAD (KVA)
Lights	+ L 0.00 x 1.25 = 0.00
Receptacles	+ R 0.00 10VA + 50% rest = 0.00
Mechanical	+ M 36.89 x 1.00 = 36.89
Heat	+ H 0.00 x 1.00 = 0.00
Kitchen	+ K 0.00 Items 0 Oba 0.00
Other	+ * 12.00 x 1.00 = 12.00
25% x Largest Motor Load	= 3.50
Noncoincident Load	+ N 0.00 - Not in Totals = 0.00
TOTAL CONNECTED KVA	48.89 TOTAL DEMAND KVA = 52.39

LOAD AMPS = 145.42 AMPS

Doyle Engineering, Inc. PANEL SCHEDULE 16-Oct-89

PANEL: F AMPS: 200 VOLTS: 208Y/120
SECTION: 1 MAIN: LUGS PHASE: 3

LOCATION: 1ST FLOOR, ELECTRICAL ROOM MOUNTING: RECESSED SERIT: NO

NO.	DESCRIPTION	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[J]	[K]	[L]	[M]	[N]	[O]	[P]	[Q]	[R]	[S]	[T]	[U]	[V]	[W]	[X]	[Y]	[Z]
1	LIGHTS																								
3	LIGHTS																								
5	LIGHTS																								
7	LIGHTS																								
9	LIGHTS																								
11	LIGHTS																								
13	LIGHTS																								
15	LIGHTS																								
17	LIGHTS																								
19	ELEVATOR PIT																								
21	HEAT																								
23																									
25	HEAT																								
27																									
29	HEAT																								
31																									
33	EF - 3																								
35	EF - 2																								
37	EF - 5																								
39	EF - 6																								
41	EF - 10																								

CONNECTED LOAD (KVA)	DEMAND LOAD (KVA)
Lights	+ L 12.23 x 1.25 = 15.29
Receptacles	+ R 10.50 10VA + 50% rest = 10.49
Mechanical	+ M 3.99 x 1.00 = 3.99
Heat	+ H 6.75 x 1.00 = 6.75
Kitchen	+ K 0.00 Items 1 1000= 0.00
Other	+ * 7.23 x 1.00 = 7.23
25% x Largest Motor Load	= 0.30
Noncoincident Load	+ N 0.00 - Not in Totals = 0.00
TOTAL CONNECTED KVA	49.14 TOTAL DEMAND KVA = 52.01

LOAD AMPS = 144.55 AMPS

Doyle Engineering, Inc. PANEL SCHEDULE 16-Oct-89

PANEL: F AMPS: 200 VOLTS: 208Y/120
SECTION: 11 MAIN: LUGS PHASE: 3

LOCATION: 1ST FLOOR, ELECTRICAL ROOM MOUNTING: RECESSED SERIT: NO

NO.	DESCRIPTION	[C]	[D]	[E]	[F]	[G]	[H]	[I]	[J]	[K]	[L]	[M]	[N]	[O]	[P]	[Q]	[R]	[S]	[T]	[U]	[V]	[W]	[X]	[Y]	[Z]
43																									
45	AN - 1																								
47																									
49																									
51	AN - 2																								
53																									
55	SPARE																								
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75	SPACE																								
77	SPACE																								
79	SPACE																								
81	SPACE																								
83	SPACE																								

LOAD AMPS = 144.55 AMPS

MAIN DISTRIBUTION PANEL
1600 AMP, 3 PHASE, 4 WIRE

FUTURE LOAD		
CLINIC	1,560 SF X 10 W/SF	15,600 VA
KITCHEN	100,000 VA X 65% (NEC 220-20)	65,000 VA
RETAIL	1,204 SF X 10 W/SF	12,040 VA
TOTAL		92,640 VA
SUB DISTRIBUTION LOAD		
TOTAL		290,369 VA
383,009 - 360 = 1,064 AMPS		

SUB-DISTRIBUTION PANEL
1000 AMP, 3 PHASE, 4 WIRE

LIVING UNITS - GENERAL LIGHTS APPLIANCE		41,200 VA
TOTAL		227,200 VA
DEMAND PER NEC 220-11		
FIRST 20,000 VA AT 50%		10,000 VA
20,001 TO 100,000 VA AT 40%		32,000 VA
OVER 100,000 VA AT 30%		38,150 VA
ELECTRIC HEAT (UNITS) AT 75% (62,276 VA X .75)		46,707 VA
HOUSE LOAD AT 100%		125,400 VA
MANAGER APARTMENT AT 100%		5,950 VA
ELEVATOR		28,152 VA
TOTAL		290,369 VA
290,369 VA : 360 = 806 AMPS		

PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for THE SEATTLE HOUSING AUTHORITY
by THE PIKES PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No	Revisions	Date

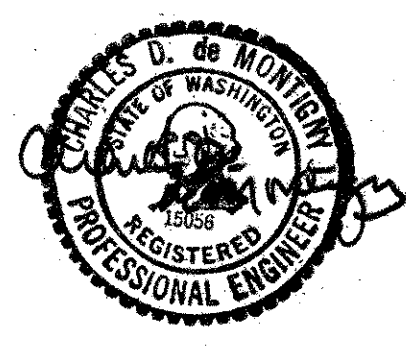
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Drawn By _____
Checked By _____

Project No. 1114.01

PANEL SCHEDULES & CALCULATIONS

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INC. OF SPOKANE, WASHINGTON FOR
PIKE PLACE MARKET CONGREGATE
CARE RESIDENCE, SEATTLE, WASHINGTON.

THE BUMGARDNER ARCHITECTS
A WASHINGTON CORPORATION
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SEATTLE, WASHINGTON 98101
206-223-1361



PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

EQUIPMENT SCHEDULE	
SYMBOL	DESCRIPTION
HP-1	Heat Pump Outdoor Unit: Lennox model HP16-513V, or approved. Cooling: 46,500 Btuh capacity, SEER=8.3 Btu/Watt. High Temperature Heating: 49,500 Btuh capacity, COP=3, HSPF=8.05. Low Temperature Heating: 29,800 Btuh capacity, COP=2.3. Electrical Data: 208/230V, 3-phase. Compressor: 15.9 RLA, 92.0 LRA, .90 PF. Outdoor Fan: 2.5 FLA, 5.5 LRA. Minimum Circuit Ampacity: 22.4. Weight: 403 lb.
HP-2	Heat Pump Outdoor Unit: Lennox model HP16-261V, or approved. Cooling: 23,400 Btuh capacity, SEER=9.3 Btu/Watt. High Temperature Heating: 25,600 Btuh capacity, COP=3, HSPF=7.3. Low Temperature Heating: 14,500 Btuh capacity, COP=2.05. Electrical Data: 208/230V, 1-phase. Compressor: 11.5 RLA, 54.0 LRA, .96 PF. Outdoor Fan: 1.3 FLA, 3.3 LRA. Minimum Circuit Ampacity: 15.7. Weight: 250 lb.
HP-3	Heat Pump Outdoor Unit: Lennox model HP17-953, or approved. Cooling: 87,000 Btuh capacity, SEER=8.5 Btu/Watt. High Temperature Heating: 88,000 Btuh capacity COP=3.0. Low Temperature Heating: 45,000 Btuh capacity, COP=2.2. Electrical Data: 208/230V, 3-phase. Compressor: 27.2 RLA, 140.0 LRA, PF=.9. Outdoor Fan: 1-phase, 3.7 FLA, 7.3 LRA. Minimum Circuit Ampacity: 37.7. Weight: 423 lb.
HP-4	Heat Pump Outdoor Unit: Lennox model HP16-653V, or approved. Cooling: 55,500 Btuh capacity, SEER=8.2 Btu/Watt. High Temperature Heating: 59,500 Btuh capacity, COP=2.9, HSPF=7.40. Low Temperature Heating: 34,400 Btuh capacity, COP=2.2. Electrical Data: 208/230V, 3-phase. Compressor: 19.0 RLA, 107.0 LRA, .9 PF. Outdoor Fan: 2.0 FLA, 4.0 LRA. Minimum Circuit Ampacity: 17.6. Weight: 411 lb.
AHU-1	Heat Pump Fan Coil Unit: Lennox model CBS18-51, or approved. Blower: Direct drive, 3-speed, 9x9, 1/2 HP, 208/230V, single-phase. 1600 cfm at 0.5" E.S.P. Coil: Nominal 4-ton, 5.45 ft. ² net face area. Auxiliary Heating Coil: Lennox model EXB18-15, 208V, 11.3 KW, 3-phase, 3-step. Minimum Circuit Ampacity: 44 amp. Filters (4): 16x20x1. Weight: 210 lb.
AHU-2	Heat Pump Fan Coil Unit: Lennox model CBS18-26 or approved. Blower: Direct drive, 3-speed, 9x7, 1/6 HP, 208/230V, single-phase. 877 CFM @ 0.5" E.S.P. Coil: Nominal 2-ton, 2.45 ft. ² net face area. Auxiliary Heating Coil: Lennox model ECB18-8, 208V, 6.0 KW, 1-phase, 2-step. Minimum Circuit Ampacity: 38.4 amp. Filter (1): 16x25x1. Weight: 120 lb.
AHU-3	Heat Pump Fan Coil Unit: Lennox model CBH17095V or approved. Blower: Belt drive, 15x15, 1-1/2 HP, 200V, 3-phase. 3000 CFM @ 0.80" E.S.P. Coil: Nominal 7-1/2 ton, 7.98 ft. ² net face area, 4-row, 1/2 tube, 14 fins per inch. Auxiliary Heating Coil: Lennox model EHL7-95-30, 210V, 23KW, 3-phase, 2-step. Filters: (2) 16x25x1; (1) 20x25x1. Weight: 427 lb.
AHU-4	Heat Pump Fan Coil Unit: Lennox model CBS18-65 or approved. Blower: Direct drive, 3-speed, 11-1/2 x 9, 3/4 HP, 208/230V, 1-phase. 2000 CFM @ 0.5" E.S.P. Coil: Nominal 5-ton, 5.45 ft. ² net face area. Auxiliary Heating Coil: Lennox model EGB18-15 or approved. 208V, 11.3KW 3-phase, 3-step. Minimum Circuit Ampacity: 44.5 Amp. Filters (4): 16x20x1. Weight: 236 lb.
EF-1,4,5	Small Ceiling Exhaust Fan: Penn "Zephyrette" ZT. 50 CFM @ 0.5" S.P., 40 watt, 115V, 1Ø. Control by wall switch.
EF-2	Restroom Exhaust Fan: Inline type fan. Penn "Zephyr" Z12. 800 CFM @ 0.25" S.P. 280 watt, 115V, 1Ø. Control by wall switch in Women's Room.
EF-3	Inline Exhaust Fan: Elevator machine room cooling. Belt drive, centrifugal type. Penn "Centrex" SX125B, 1400 CFM @ 0.375" S.P., 1/3 HP, 115V, 1Ø. Control by line voltage cooling thermostat in elevator machine room, set 85°F.
SF-1	Elevator Shaft Pressurization Fan: Belt drive, wall mounted, propeller supply fan. Penn "Breezebuilder" BRK24, 5000 CFM @ 0.375" S.P., 1 HP, 208V, 3Ø.
SF-2,3	Corridor Ventilation Fan: Filtered make-up air fan. Direct drive, twin blowers. Penn "Muffan" MU-20; 1650 CFM @ 0.375" S.P., 1/2 HP, 115V, 1Ø.
F-1	Gas-Fired Furnace: Corridor pressurization, make-up air heater. Resnor model RXE-125; 125,000 Btuh input, 100,000 Btuh output. 1700 CFM @ 0.6" E.S.P., 3/4 HP, 208V, 3Ø. Complete with filter rack and (2) 20x20x1 filters, intermittent ignition system, 2-stage burner, and stainless steel heat exchanger.

MECHANICAL LEGEND		
SYMBOL	ABB'R'N	DESCRIPTION
		RECTANGULAR DUCT, 22" x 14"
		ROUND DUCT, 10" Ø
		SUPPLY DUCT CROSS SECTION
		RETURN DUCT CROSS SECTION
		CEILING DIFFUSER: SQUARE FACE, 24" x 24"; ROUND NECK, 8" Ø; 250 CFM. SEE SCHEDULE
		CEILING DIFFUSER, 3 WAY AIRFLOW
		RETURN GRILLE: SEE SCHEDULE
		THERMOSTAT
	VD	VOLUME DAMPER
	M	MOTORIZED DAMPER
		FLEX DUCT
	LWG	LOW WALL GRILLE
	CG	CEILING GRILLE
		SUPPLY REGISTER, 18" x 6" 200 CFM. SEE SCHEDULE
		FIRE DAMPER: VERTICAL, HORIZONTAL.
		COMPRESSED AIR
		REFRIGERANT

DIFFUSER - GRILLE SCHEDULE				
SYMBOL	DESCRIPTION	CEILING	WALL	FINISH
1	Double deflection supply register. Steel construction. 2 sets of blades at 3/4" spacing, front set parallel to short dimension. Titus model 300 RS, or approved.	-	GWB	White Enamel
2	Ceiling Diffuser. Round neck, square face set into 24"x24" panel for T-Bar ceiling. Titus model TMS, with frame type 3, or approved.	T-Bar	-	"
3	Return Grille. Horizontal louvers at 3/4" spacing and 35° deflection. Titus model 350RL or approved.	-	GWB	"
4	Ceiling Return Grille. Aluminum eggcrate type. 1/2x1/2x1. Titus model 50F or approved.	T-Bar or GWB	-	"
5	Outdoor Air Louver. Extruded aluminum type. 12-gauge construction with mitered corners. Wonder Metals type EX-WPL, or approved.	-	Stucco	As selected by Architect
6	Barometric Relief Damper. 16-gauge steel frame with 0.025" aluminum blades and felt edges. Adjustable brass counterweights. Wonder Metals RD-290CMT, or approved.	-	Stucco	"
7	Rectangular louvered face ceiling diffuser. Titus model TDC or approved, with beveled drop face and 2-way air flow.	GWB	-	White Enamel

No	Revisions	Date

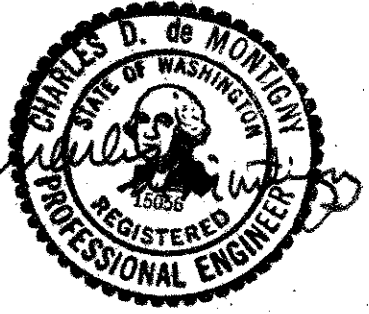
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Project No 1114.01

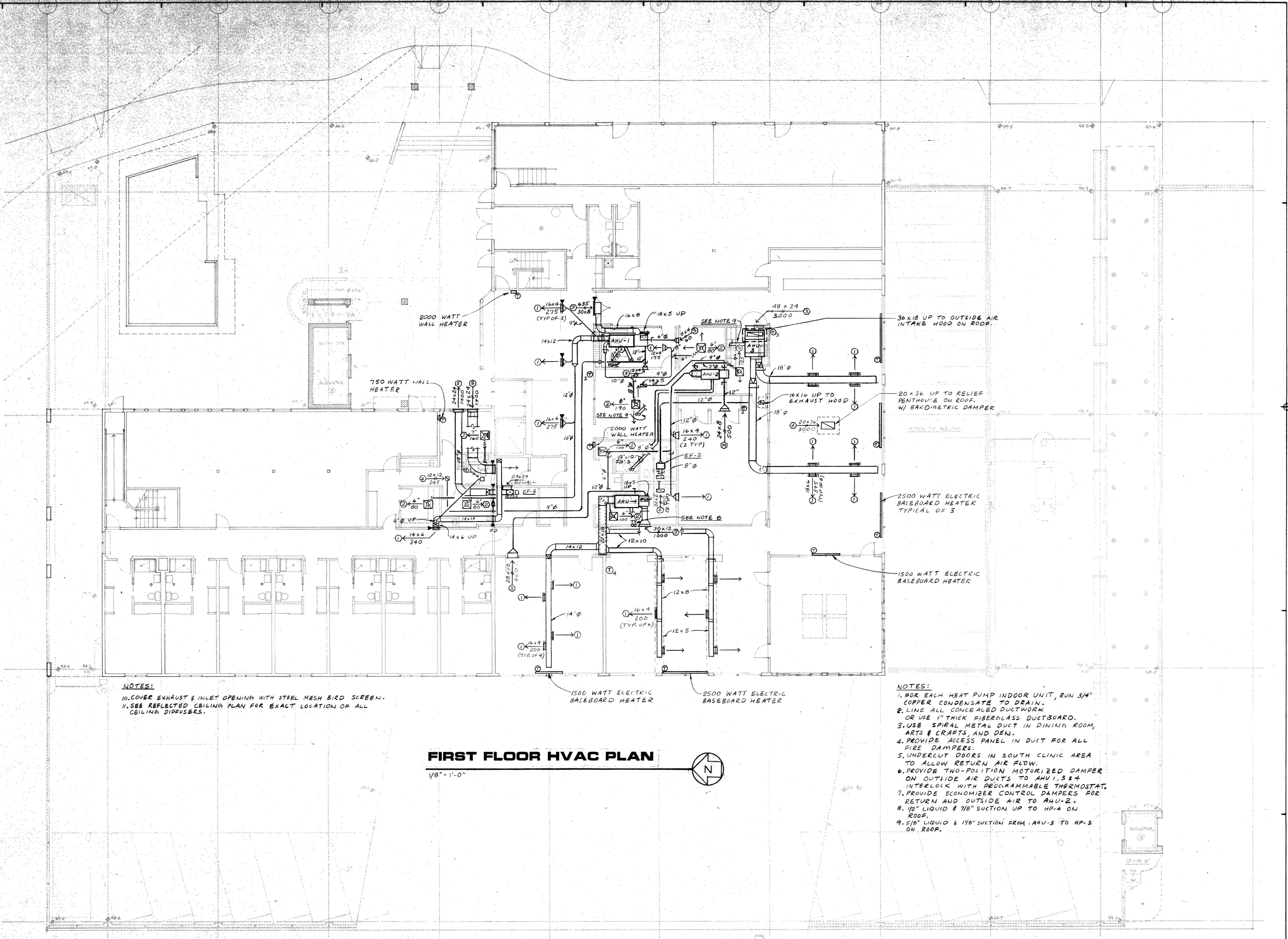
MECHANICAL COVER SHEET

M1

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PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by THE PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



NOTES:
10. COVER EXHAUST & INLET OPENING WITH STEEL MESH BIRD SCREEN.
11. SEE REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL CEILING DIFFUSERS.

FIRST FLOOR HVAC PLAN
1/8" = 1'-0"

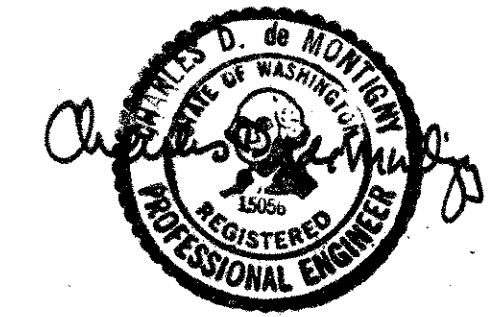
NOTES:
1. FOR EACH HEAT PUMP INDOOR UNIT, RUN 3/4" COPPER CONDENSATE TO DRAIN.
2. LINE ALL CONCEALED DUCTWORK OR USE 1" THICK FIBERGLASS DUCTBOARD.
3. USE SPIRAL METAL DUCT IN DINING ROOM, ARTS & CRAFTS, AND DEN.
4. PROVIDE ACCESS PANEL IN DUCT FOR ALL FIRE DAMPERS.
5. UNDERCUT DOORS IN SOUTH CLINIC AREA TO ALLOW RETURN AIR FLOW.
6. PROVIDE TWO-POSITION MOTORIZED DAMPER ON OUTSIDE AIR DUCTS TO AHU-1, 3 & 4 INTERLOCK WITH PROGRAMMABLE THERMOSTAT.
7. PROVIDE ECONOMIZER CONTROL DAMPERS FOR RETURN AND OUTSIDE AIR TO AHU-2.
8. 1/2" LIQUID & 7/8" SUCTION UP TO HP-4 ON ROOF.
9. 5/8" LIQUID & 1 1/8" SUCTION FROM AHU-3 TO HP-3 ON ROOF.

No	Revisions	Date

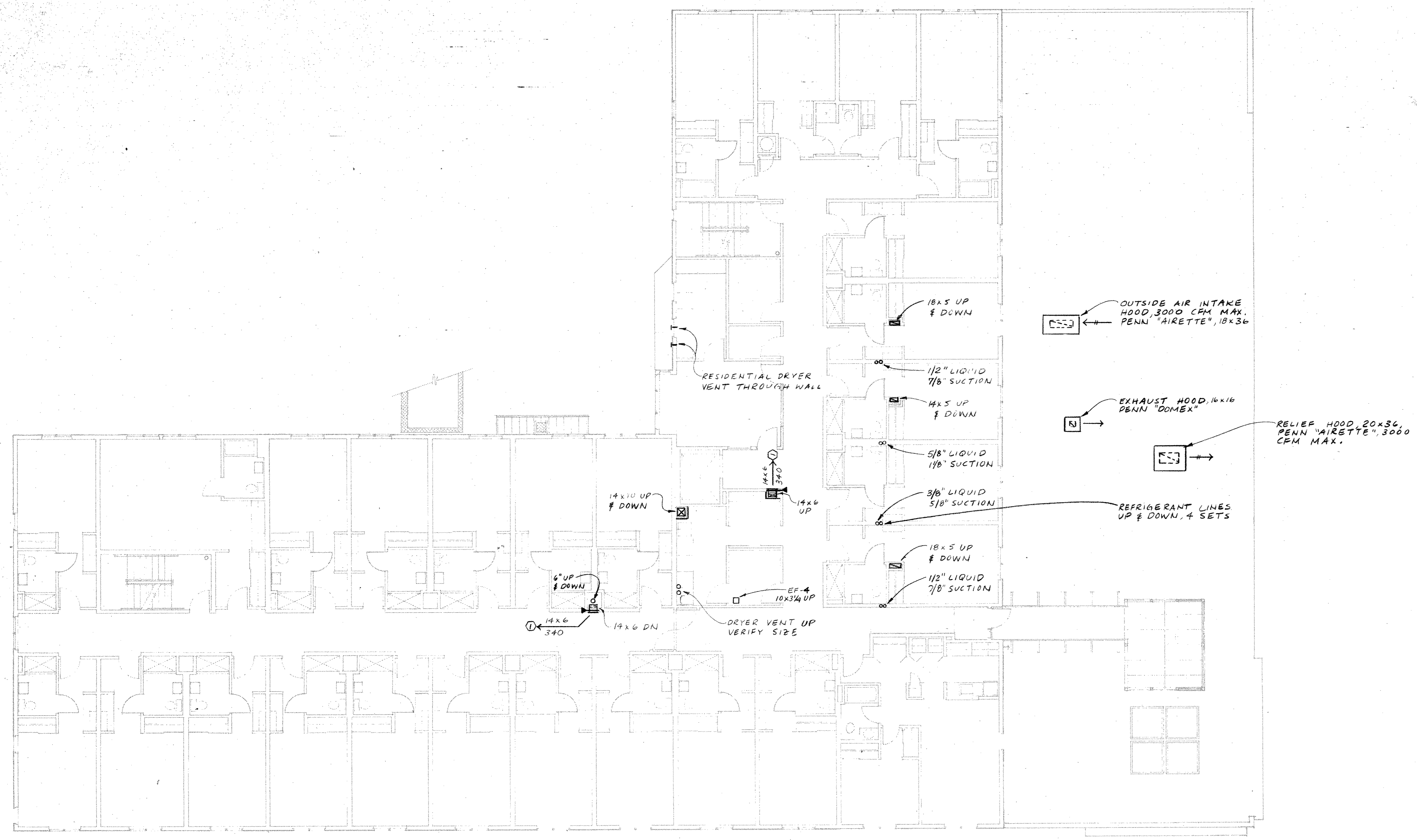
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FIRST FLOOR HVAC PLAN

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PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
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SECOND FLOOR HVAC PLAN
 1/8" = 1'-0"

No	Revisions	Date

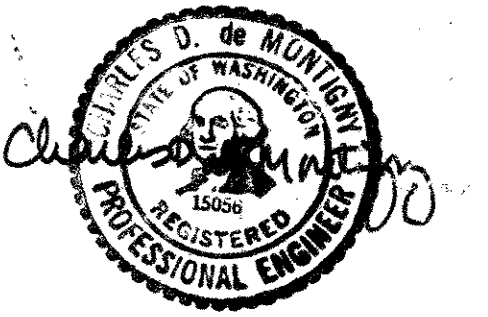
Date
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 SECOND FLOOR
 HVAC PLAN

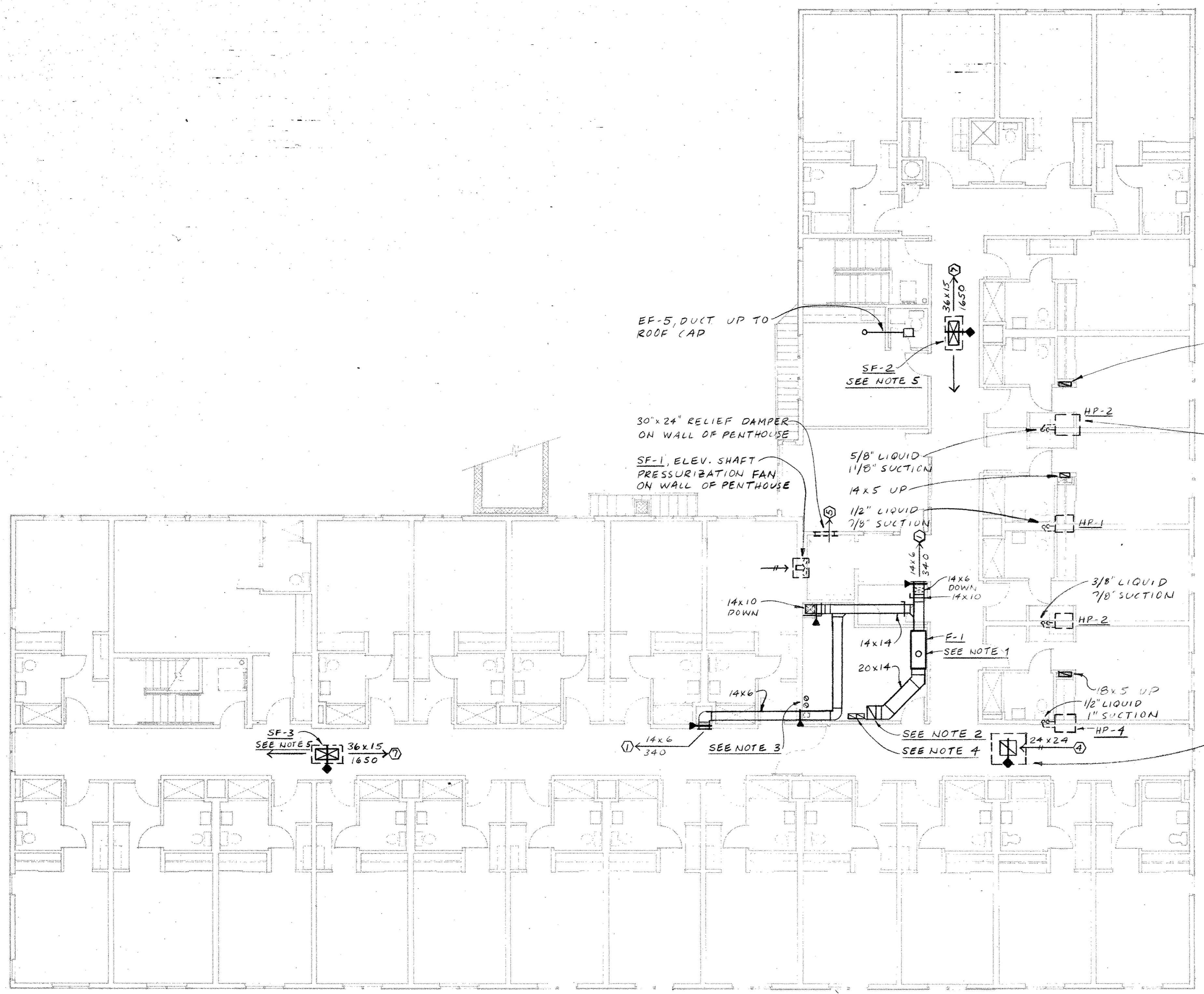
M3

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PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
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EF-5, DUCT UP TO ROOF CAP

SF-2
SEE NOTE 5

18x5 UP TO GOOSENECK AIR INTAKE, SMACNA FIG. 4-4. TYPICAL OF 3. SEE NOTE 5

30"x24" RELIEF DAMPER ON WALL OF PENTHOUSE

SF-1, ELEV. SHAFT PRESSURIZATION FAN ON WALL OF PENTHOUSE

HEAT PUMP OUTDOOR UNITS ON ROOF. SEE INSTALLATION DETAIL ON M-1.

5/8" LIQUID 1/8" SUCTION

14x5 UP

1/2" LIQUID 7/8" SUCTION

HP-1

HP-2

14x10 DOWN

14x6 DOWN 14x10

3/8" LIQUID 7/8" SUCTION

HP-2

14x14

20x14

E-1
SEE NOTE 1

18x5 UP

1/2" LIQUID 1" SUCTION

HP-4

SF-3
SEE NOTES

14x6 340
SEE NOTE 3

SEE NOTE 2
SEE NOTE 4

RELIEF PENTHOUSE ON ROOF. PENN "AIRETTE" 24x24, W/ BAROMETRIC DAMPER.

- NOTES:**
- 7" Ø TYBE 'B' GAS VENT UP THROUGH ROOF. PROVIDE ROOF FLASHING & BIRD PROOF CAP.
 - 20x14 OUTSIDE AIR DUCT, UP TO 30x24 LOUVER ON WALL OF PENTHOUSE. VERIFY REQUIRED 10' DISTANCE TO GAS VENT, OR EXHAUST OUTLET.
 - DRYER VENTS UP TO WALL CAP ON SIDE OF PENTHOUSE. VERIFY REQUIRED SIZE FOR COMMERCIAL DRYERS.
 - COMBUSTION AIR DUCTS, MIN. 100 SQ. IN. EACH, TERMINATE ONE AT CEILING LEVEL, ONE WITHIN 12" OF FLOOR. DUCT UP TO LOUVER ON WALL OF PENTHOUSE.
 - MAINTAIN A MINIMUM 10' DISTANCE FROM FRESH AIR INTAKE TO EXHAUST OR PLUMBING VENT.

THIRD FLOOR HVAC PLAN
 1/8" = 1'-0"

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Project No 1114.01
 THIRD FLOOR
 HVAC PLAN

M4

LIVE LOADS

RESIDENTIAL	40 PSF
CORRIDORS/PUBLIC ASSEMBLY	100 PSF
OFFICE	60 PSF
STORAGE/LAUNDRY	125 PSF
FLOOR PARTITION ALLOWANCE @ OFFICE	20 PSF
WIND	U.B.C. 80 MPH EXPOSURE "C"
SEISMIC	U.B.C. ZONE III 1995 EDITION
	K = 1.0
	I = 1.0
	CP = 0.14

STRUCTURAL NOTES

1. UNLESS OTHERWISE NOTED, ALL MATERIAL AND DESIGN SPECIFICATIONS CITED HEREIN SHALL CONFORM TO THE MOST RECENTLY ADOPTED SPECIFICATION OR CODE. THESE STRUCTURAL NOTES ARE TO BE USED AS A SUPPLEMENT TO THE SPECIFICATIONS.

2. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. SHOP DRAWINGS SHALL BE REQUIRED ON REINFORCING STEEL, STRUCTURAL STEEL, GLUE LAMINATED MEMBERS, FABRICATED JOISTS, TRUSSES, AND SHALL BE REVIEWED PRIOR TO FABRICATION. UNLESS STATED OTHERWISE IN THE SPECIFICATIONS, SUBMIT 1 SET AND 1 ORIGINAL (SEPA) REPRODUCIBLE FOR APPROVAL OR CORRECTIONS.

3. FIRST FLOOR SHALL BE PERMANENTLY ATTACHED TO WALLS OR SHORE WALLS PRIOR TO BACKFILLING AGAINST STRUCTURE.

4. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND, LATERAL EARTH, OR EARTHQUAKE FORCES UNTIL THE ROOF AND WALL UNITS HAVE BEEN PERMANENTLY ATTACHED THERETO.

5. GYPSUM WALLBOARD IS USED ON THIS PROJECT FOR BRACING OF THE STRUCTURE. CONTRACTOR TO PROVIDE ADEQUATE BRACING UNTIL GYPSUM WALLBOARD HAS BEEN APPLIED AND FULLY MAILED.

6. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS SUBJECT TO REVIEW BY THE ARCHITECT AND ENGINEER.

7. ALL PRODUCTS AND MATERIALS USED BY THE CONTRACTOR SHALL BE ALL PRODUCTS AND MATERIALS USED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

CONCRETE - CAST-IN-PLACE

1. ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LABORATORY CURED COMPRESSIVE STRENGTH OF 2000 P.S.I. FOR FOUNDATIONS. CONCRETE SHALL BE TESTED AS FOLLOWS: 1 @ 7 DAYS; 2 @ 28 DAYS.

2. A MINIMUM OF THREE (3) CONCRETE TEST CYLINDERS SHALL BE PROVIDED FOR EACH 100 CU. YARDS OF EACH CONCRETE STRENGTH. CYLINDERS SHALL BE TESTED AS FOLLOWS: 1 @ 7 DAYS; 2 @ 28 DAYS.

3. CONCRETE CYLINDER SAMPLING AND TESTING SHALL CONFORM WITH ASTM SPECIFICATIONS.

4. CONCRETE FORM MIXING, PLACING AND CURING SHALL CONFORM TO ACI MANUAL OF CONCRETE PRACTICE, AND ITS SPECIFICATIONS.

5. SLEEVES THROUGH BEAMS AND WALLS FOR MECHANICAL LINES SHALL BE FABRICATED FROM STANDARD WEIGHT STEEL PIPE WITH ANCHORS AS APPROVED BY THE ENGINEER UNLESS OTHERWISE NOTED.

6. ALL CONCRETE JOINTS FOR CAST-IN-PLACE BEAMS, WALLS, FOUNDATIONS AND SLABS NOT ON GRADE SHALL BE ROUGH TEXTURED WITH 2X KEYS AT CENTER. CONTRACTOR SHALL OBTAIN STRUCTURAL ENGINEER'S REVIEW ON DETAILS OF ALL CONSTRUCTION JOINTS PRIOR TO CONSTRUCTION.

CONCRETE REINFORCING STEEL

1. ALL REINFORCING STEEL FOR CONCRETE SHALL CONFORM TO U.B.C. STANDARDS NO. 26-4 AND ASTM A-615 GRADE 60.

2. ALL WELDED REINFORCING STEEL METAL INHERITS AND CONNECTIONS SHALL CONFORM TO U.B.C. STANDARD NO. 26-8.

3. REINFORCING (MINIMUM UNLESS OTHERWISE SHOWN ON PLANS)

A. REINFORCING FOR WALLS

- 5" - VERTICAL #4 @ 12" O.C. HORIZONTAL #4 @ 12" O.C.
- 8" - VERTICAL #4 @ 12" O.C. HORIZONTAL #4 @ 12" O.C.

B. PLACE 2-#5 CONTINUOUS AT BOTTOM, TOP AND AT DISCONTINUOUS ENDS OF ALL FOUNDATIONS AND WALLS.

C. PLACE 2-#5 X 2'-0" BARS AT CORNERS AND INTERSECTIONS FOR WALLS AND FOUNDATIONS EQUAL IN SIZE AND NUMBER TO HORIZONTAL REINFORCING.

D. PLACE 2-#5 X OPENING WIDTH PLUS 4'-0" TOP AND BOTTOM; 2-#5 X OPENING HEIGHT PLUS 4'-0" EACH SIDE; PLUS 2-#5 X 4'-0" DIAGONAL BARS AT EACH CORNER OF ALL OPENINGS.

4. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM SPECIFICATION A-185 AND U.B.C. STANDARDS NO. 26-8.

5. ALL WIRE FABRIC SHALL BE SUPPLIED AND LAID IN FLAT SHEETS AND SHALL BE CHAINED TO PROPER POSITION IN SLABS. LAP ONE FULL MESH PLUS 6" ON SIDES AND ENDS.

6. ALL REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI DETAILING MANUAL 315.

7. ALL REINFORCING STEEL SHALL BE ACCURATELY AND SECURELY PLACED.

8. REINFORCING SHALL NOT BE BENT OR DISPLACED FOR THE CONVENIENCE OF OTHER TRADES UNLESS APPROVED BY THE STRUCTURAL ENGINEER.

9. SPLAY REINFORCING STEEL AROUND OPENINGS WITH 1" IN 10" SPLAY UNLESS OTHERWISE SHOWN.

10. MINIMUM COVER FROM CONCRETE SURFACES TO REINFORCING STEEL SHALL BE:

- 2" ± 1/4" TO EARTH FACE OF WALL
- 1" ± 1/4" TO INSIDE FACE OF WALL
- 2" ± 1/4" MAIN STEEL BEAMS AND COLUMNS
- LAP ALL BARS A MINIMUM OF 36 DIAMETERS EXCEPT AS OTHERWISE NOTED.

STRUCTURAL STEEL AND MECHANICAL IRON

1. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36.

2. STRUCTURAL TUBES SHALL CONFORM TO ASTM A-500, GRADE B, Fy = 46 KSI STRUCTURAL PIPE SHALL CONFORM TO A-53, GRADE B, TYPE E OR TYPE S Fy = 35 KSI

3. ALL FABRICATION, ERECTION, IDENTIFICATION AND PAINTING OF STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS AND U.B.C. STANDARDS NO. 27-2.

4. ALL WELDING SHALL CONFORM TO AISC SPECIFICATIONS.

A. ALL WELDERS SHALL BE CERTIFIED UNDER AISC SPECIFICATIONS.

B. WELDS SHALL BE MADE WITH E70 SERIES ELECTRODES UNLESS OTHERWISE NOTED.

C. WELD TESTING AND INSPECTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE U.B.C., SECTION 306.

5. SHEAR CONNECTIONS SHALL CONFORM TO ASTM A-449. "HEADED STUDS" (H.S.) SHALL BE BY NELSON SUD WELDING DIVISION, GREGORY INDUSTRIES, INC., OR APPROVED.

6. ALL MEMBERS SHALL BE CONNECTED WITH SEMI-FINISHED MACHINE BOLTS UNLESS SHOWN ON PLANS. MACHINE BOLTS SHALL CONFORM TO ASTM A-307, GRADE A.

7. DRILLED-IN ANCHORS SHALL BE "PARABOLIT" BY USM, INC., MOLLY FASTENER DIVISION, OR APPROVED.

8. ANCHOR BOLTS SHALL CONFORM TO ASTM A-307, GRADE A.

PREFABRICATED FLOOR AND ROOF JOISTS

1. ALL ROOF AND FLOOR MEMBERS SHALL BE MANUFACTURED BY TRUS-JOIST CORP. OR APPROVED.

2. ALL JOISTS SHALL CONFORM TO ALL PROVISIONS OF THE UNIFORM BUILDING CODE.

3. JOISTS SHALL NOT EXCEED A LIVE LOAD DEFLECTION OF L/360 AT ROOF AND L/480 AT FLOORS OR WORKING STRESSES AS SHOWN IN THE U.B.C. STANDARDS FOR APPROPRIATE MATERIALS UNDER A TOTAL LOAD OF 40 PSF FOR RESIDENTIAL ROOF STRUCTURES.

4. LOAD OF 45 PSF FOR RESTAURANT ROOF STRUCTURES.

5. TYPICAL FLOOR DEAD LOAD SHALL BE 18 PSF (SEE "LIVE LOADS" FOR FLOOR LIVE LOAD REQUIREMENT).

6. JOIST MANUFACTURER SHALL FURNISH COMPLETE ENGINEERING SHOP DRAWINGS WITH REGISTERED PROFESSIONAL ENGINEER'S SEAL.

7. TJI SERIES

A. MANUFACTURER SHALL FURNISH ALL END AND INTERMEDIATE STIFFENERS, BLOCKING AND/OR SHEAR PANELS, METAL BRIDGING ASSEMBLIES, AND HANGERS AS REQUIRED TO PROVIDE A COMPLETE FLOOR OR ROOF STRUCTURAL SYSTEM.

8. CAMBERS

ROOF MEMBERS 1.25 DEAD LOAD

FLOOR MEMBERS 1.25 DEAD LOAD

DOUBLE ALL JOISTS UNDER MECHANICAL UNITS UNLESS OTHERWISE SHOWN.

LIGHT METAL PLATE CONNECTED WOOD TRUSSES (IF USED ON THIS PROJECT)

1. TRUSSES SHALL COMPLY WITH U.B.C. STANDARD NO. 25-17 AND ALL PROVISIONS OF THE DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES OF THE TRUSS PLATE INSTITUTE EXCEPT AS OTHERWISE NOTED.

2. ALL TRUSS AND COMPRESSIVE MEMBER STAY BRACING AND CONNECTIONS SHALL BE MANUFACTURED BY AN APPROVED MANUFACTURER.

3. MEMBERS SHALL NOT EXCEED A LIVE LOAD DEFLECTION OF L/360 FOR ROOFS OR L/480 FOR FLOORS OR WORKING STRESSES FOR THE APPROPRIATE MATERIAL. (SEE "PREFABRICATED FLOOR AND ROOF JOISTS")

4. TRUSS MANUFACTURER SHALL FURNISH COMPLETE ENGINEERING SHOP DRAWINGS WITH REGISTERED PROFESSIONAL ENGINEER'S SEAL. SHOP DRAWINGS SHALL SHOW CLEARLY ERECTION PLAN AND ALL STAY BRACING FOR TRUSS COMPRESSIVE MEMBERS AND REQUIRED STRESSES FOR VERIFICATION. SUBMITTAL SHALL ALSO INCLUDE ALL ICBO APPROVAL INFORMATION.

5. ALL CONNECTION PLATES SHALL DEVELOP THE FULL STRESS IN A MEMBER WITH A MINIMUM TRANSFER AT ANY MEMBER OF 2000 LBS.

6. THE TRUSS MANUFACTURER SHALL SUBMIT CERTIFICATES FROM AN INDEPENDENT TESTING COMPANY THAT ALL TRUSSES DELIVERED TO JOBSITE CONFORM TO APPROVED SHOP DRAWINGS. COST OF ALL TEST CERTIFICATES SHALL BE BORNE BY THE TRUSS MANUFACTURER AND SHALL BE SUBMITTED PRIOR TO THE START OF ERECTION.

7. CONNECT ALL TRUSSES TO SUPPORTING MEMBERS WITH 1-SIMPSON H1 ANCHOR AND 2-10d TOP NAILS UNLESS OTHERWISE SHOWN.

8. DOUBLE TRUSSES UNDER MECHANICAL UNITS UNLESS OTHERWISE SHOWN.

GLUE LAMINATED MEMBERS

1. ALL GLUE LAMINATED MEMBERS SHALL CONFORM TO U.B.C. STANDARDS 25-10 AND 25-11, AITC 117 AND MANUFACTURED IN ACCORDANCE WITH UNITED STATES PRODUCT STANDARD PS 56-73.

2. MEMBERS SHALL BE 24'-0" V-L.

3. ALL GLUE LAMINATED MEMBERS SHALL BE NOTCHED, SHAPED AND FINISHED AS PER PLANS AND SPECIFICATIONS AND SHALL BE FABRICATED WITH WATERPROOF GLUES.

4. ERECTION OF MEMBERS SHALL CONFORM TO AITC SPECIFICATIONS.

5. PROVIDE STANDARD 2000 FOOT RADIUS CAMBER UNLESS OTHERWISE NOTED.

6. CERTIFICATES OF INSPECTION #1 AND #2 FROM AITC OR AN INDEPENDENT TESTING LABORATORY WILL BE REQUIRED.

7. BEAMS CANTILEVERING OR CONTINUOUS OVER ONE OR MORE SUPPORTS SHALL HAVE EQUAL BENDING STRESS RATING IN THE TOP AND BOTTOM FACES.

FRAMING LUMBER

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH OR HEMLOCK-FIR AS NOTED BELOW AND SHALL CONFORM TO THE PROVISIONS OF U.B.C. STANDARD 25-4. DOUGLAS FIR-LARCH SHALL BE USED AT SPECIALLY DESIGNATED SHEAR WALLS SHOWN ON SHEAR WALL SCHEDULE.

SIZE CLASSIFICATION

	DESIGN VALUE (P.S.I.)	(DOUGLAS FIR-LARCH)	(HEM-FIR)
A. EXTERIOR WALL STUDS	Fb = 725	1190	
	Fc = 625	875	
	E = 1,500,000	1,400,000	
B. INTERIOR WALL STUDS	Fb = 600	725	
	Fc = 625	500	
	E = 1,500,000	1,200,000	
C. JOISTS	Fb = 1250		
	Fv = 95		
	E = 1,700,000		
D. BEAMS	Fb = 1300		
	Fc = 625		
	E = 1,600,000		
E. POSTS - D.F. ONLY	Fb = 1200		
	E = 1,600,000		
F. BLOCKING, PLATES & BRIDGING	Fb = 600	475	
	Fc = 625	405	
	E = 1,500,000	1,200,000	

2. ALL MEMBERS 1X OR LESS (LEAST DIMENSIONS) SHALL BE MAXIMUM 19% MOISTURE CONTENT.

3. PROVIDE SOLID BLOCKING (SAME DEPTH OF MEMBER) AT ALL POINTS OF BEARING. SOLID BRIDGING @ 8'-0" O.C. MAXIMUM SHALL BE REQUIRED WHERE JOISTS HAVE A 5 TO 1 OR GREATER DEPTH TO THICKNESS RATIO AND WHERE ONE EDGE IS NOT HELD IN LINE BY SHEATHING, WALLBOARD, BRACING, ETC.

4. ALL PLATES AND LEDGERS IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. PRESSURE TREATED LUMBER SHALL BEAR THE AWBP (AMERICAN WOOD PRESERVERS BUREAU) QUALITY MARK 21-B, AND BEAR THE APA TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.

5. ALL JOISTS UNDER ALL PARALLEL PARTITIONS.

6. FOR NAILING SEE SCHEDULE AND DRAWINGS.

PLYWOOD SHEATHING

1. ALL PLYWOOD SHEATHING SHALL BE C-D GRADE UNLESS OTHERWISE SHOWN, WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH UNITED STATES PRODUCT STANDARD PS 1-83/ANSI A199.1 FOR CONSTRUCTION AND INTERIOR PLYWOOD, CONFORM TO U.B.C. STANDARD 23-9, AND BEAR THE APA TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.

A. ROOF SHEATHING 5/8" INDEX 32/16 T&G

FLOOR 5/8" INDEX 48/24 T&G

C. WALLS 1/2" INDEX 24/0

2. PLYWOOD SHEATHING SHALL BE LAID WITH JOINTS STAGGERED.

3. BLOCK ALL WALL SHEATHING WITH 2 X 4 FLAT BLOCKING AT ALL EDGES.

4. NAIL AS PER SCHEDULE AND DRAWINGS.

5. LAY OUT PLYWOOD TO ELIMINATE ANY WIDTH LESS THAN 1'-0".

NAILING AND CONNECTION SCHEDULE

MINIMUM NUMBER OF NAILS FOR WOOD MEMBERS (EXCEPT AS NOTED ON DRAWINGS)

CONNECTION	COMMON
STUDS TO PLATES - END NAIL	2-16d
OR TOE NAIL	4-10d
TOP PLATES & BOTTOM PLATES	- SPIKE TOGETHER
- LAP & INTERSECTIONS	10-8 @ 8" O.C.
FLOOR JOISTS (ROOF JOISTS) (CEILING JOISTS)	4-10d EACH SIDE JOINT
TO PLATES OR BEAMS - TOE NAIL	2-10d
BLOCKING TO PLATE - TOE NAIL	2-10d
BLOCKING TO JOISTS - EACH END	2-10d
CORNER STUDS	10d @ 12" O.C.
2X LAMINATED BEAMS	10d @ 12" T&G STAGGERED
PLYWOOD SHEATHING	
1. ROOF SHEATHING - 5/8" INDEX 32/16 T&G	
BLOCK ALL EDGES WITH 2X4 PLATS AT DESIGNATED AREAS ON PLAN.	
AT EDGES OF EACH SHEET,	
BLOCKING & WALLS	8d @ 6" O.C.
AT INTERIOR OF SHEET	8d @ 12" O.C.
AT BOUNDARIES OF ROOF	8d @ 4" O.C.
2. FLOOR SHEATHING - 5/8" INDEX 48/24 T&G MINIMUM EXCEPT AS CALLED FOR OTHERWISE ON PLANS	
AT EDGES OF EACH SHEET,	
BLOCKING & WALLS	10d @ 6" O.C.
AT INTERIOR OF SHEETS	10d @ 10" O.C.
3. WALL SHEATHING - 1/2" INDEX 24/0 MINIMUM EXCEPT AS CALLED FOR OTHERWISE ON PLANS.	
BLOCK ALL EDGES WITH 2X4 PLATS	
BLOCKING & PLATES	8d @ 4" O.C.
AT INTERIOR OF EACH SHEET	8d @ 4" O.C.
AT BOUNDARIES OF WALL	8d @ 4" O.C.
5/8" GYPSUM WALLBOARD	6d COOLER NAILS
BLOCK ALL EDGES WITH 2X4 PLATS	
AT ALL STUDS, TOP & BOTTOM	
PLATES & BLOCKING	6" O.C.

OTHER WOOD CONNECTIONS

ALL PLATES AND LEDGERS SHALL BE ANCHORED WITH A MINIMUM OF 3 ANCHORS PER PIECE

PLATES TO CONCRETE FOUNDATION

MINIMUM SIZE AND MAXIMUM SPACING
5/8" # 8 BOLT = 5/16" # HOLE
5/8" # BOLT = 13/32" # HOLE
3/4" # BOLT = 1/2" # HOLE
1" # BOLT = 11/16" # HOLE

LAG BOLT INSTALLATION:

PRE-DRILL HOLES FOR LAG THREADS

1/2" # BOLT = 5/16" # HOLE

5/8" # BOLT = 13/32" # HOLE

3/4" # BOLT = 1/2" # HOLE

1" # BOLT = 11/16" # HOLE

SOAP THREADS OF LAGS IMMEDIATELY PRIOR TO INSTALLING WITH WRENCH ONLY.

ALL FRAMING CONNECTORS SHALL BE SIMPSON OR APPROVED.

CONNECT ALL BEAMS AND JOISTS WITH SIMPSON HANGERS TO DEVELOP STRENGTH OF MEMBERS.

PROVIDE STANDARD PLATE WASHERS UNDER HEADS OR NUTS OF BOLTS BEARING ON WOOD.

LAG BOLT INSTALLATION:

PRE-DRILL HOLES FOR LAG THREADS

1/2" # BOLT = 5/16" # HOLE

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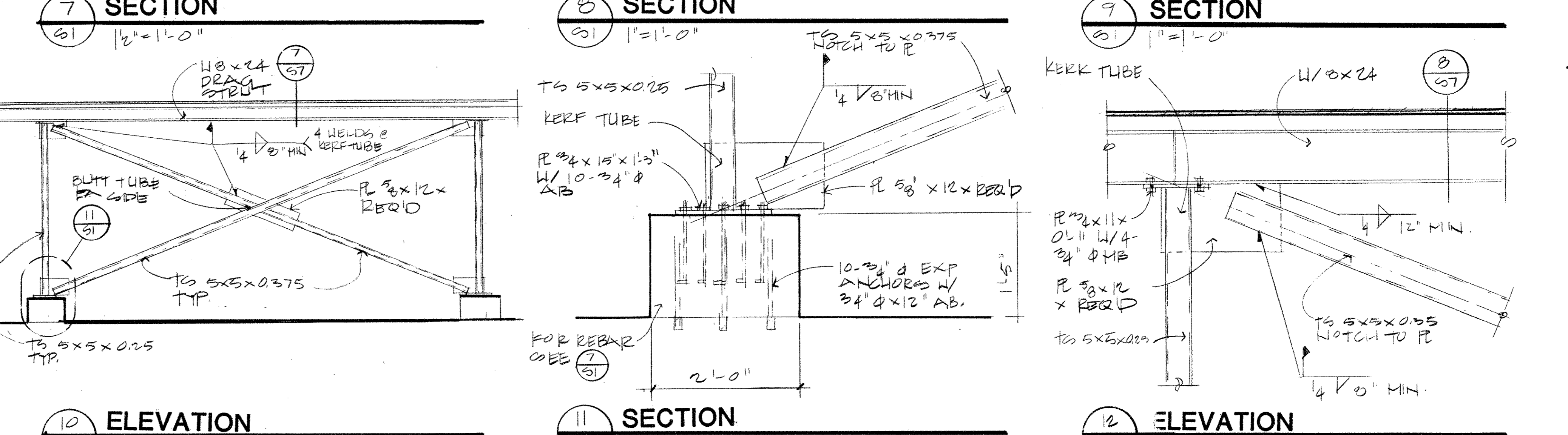
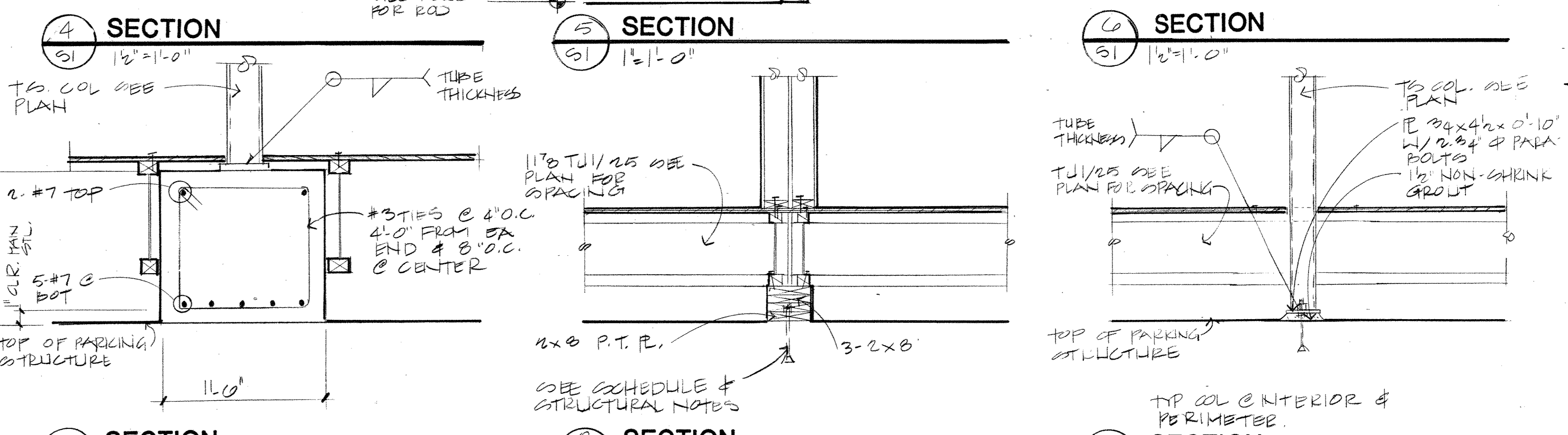
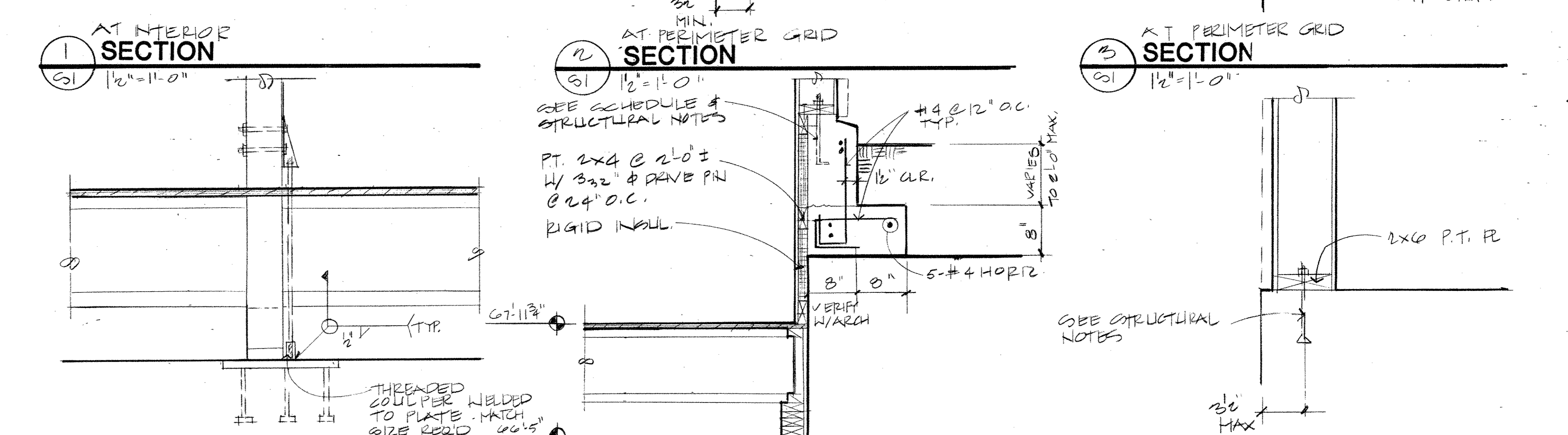
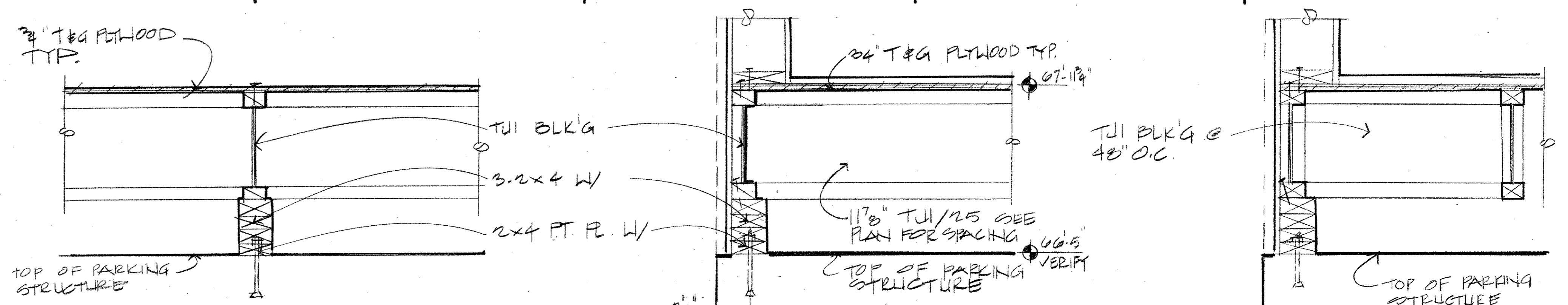
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8. DOUBLE TRUSSES UNDER MECHANICAL UNITS UNLESS OTHERWISE SHOWN.



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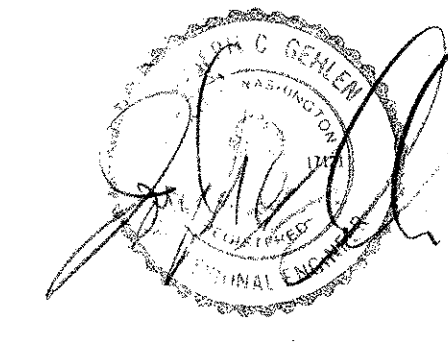
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No.	Revisions	Date

Date 1/31/89
Drawn by TJ
Checked by JG

Project No 1114.01

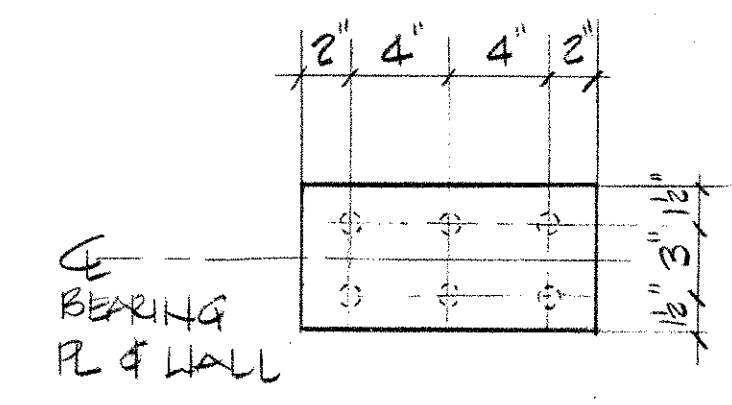
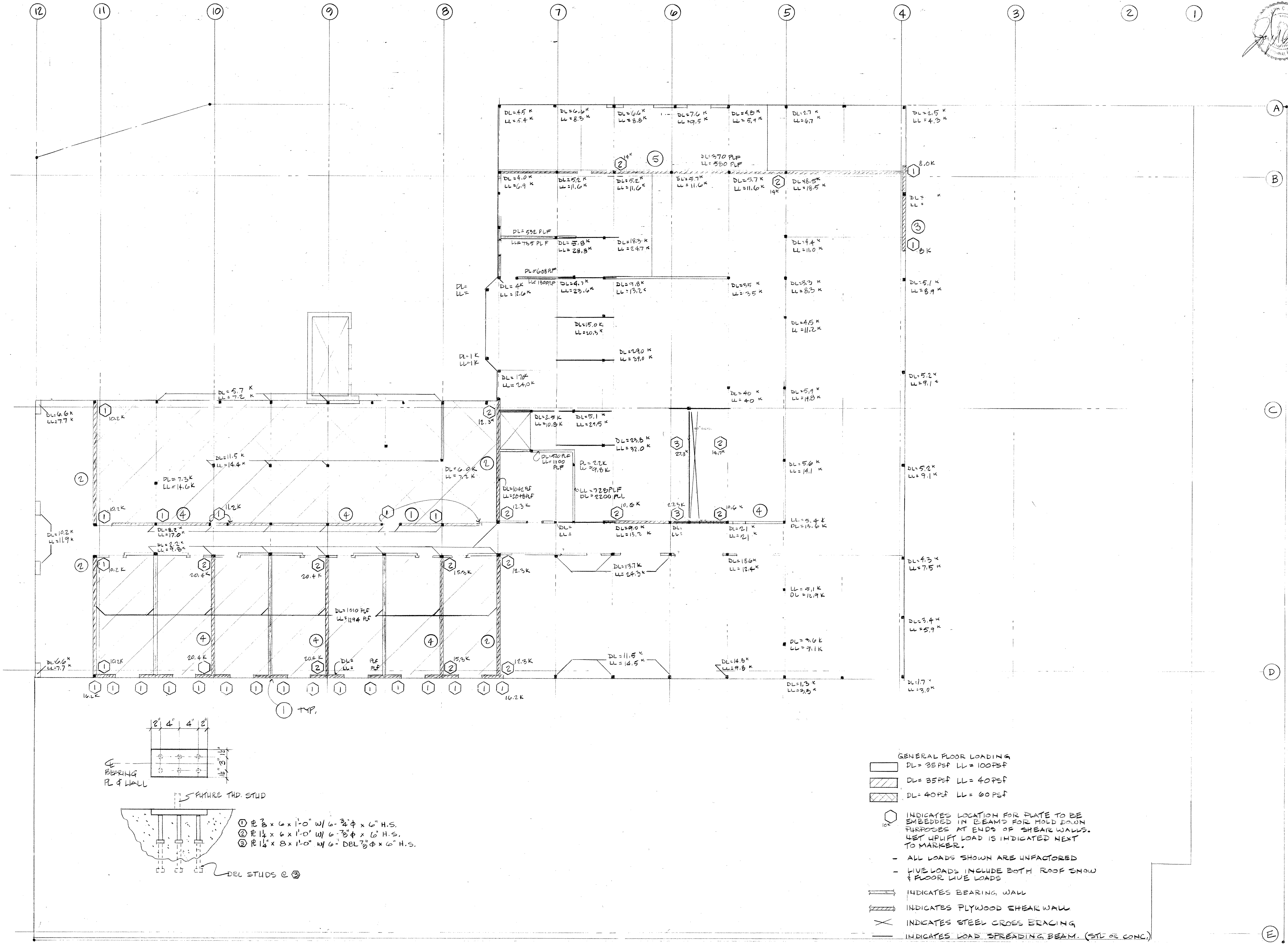
STRUCTURAL NOTES



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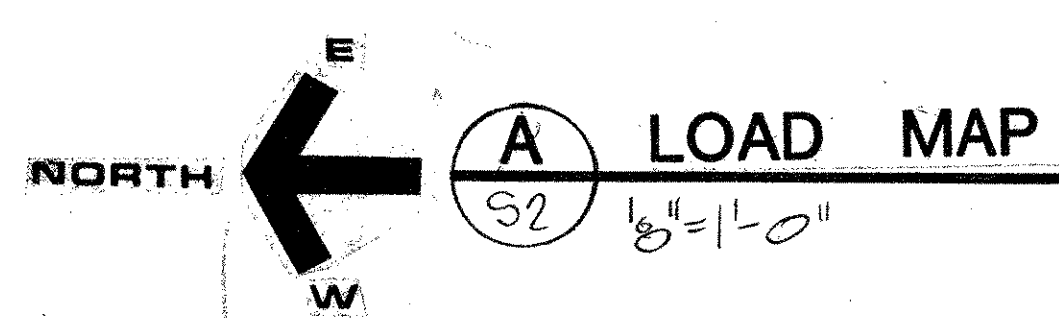
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PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
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by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY



- ① #3 x 6 x 1'-0" w/ 6-3/8" φ x 6" H.S.
- ② #1 1/4 x 6 x 1'-0" w/ 6-7/8" φ x 6" H.S.
- ③ #1 1/4 x 8 x 1'-0" w/ 6" DEL 7/8" φ x 6" H.S.

- GENERAL FLOOR LOADING**
- DL = 35 PSF LL = 100 PSF
 - DL = 35 PSF LL = 40 PSF
 - DL = 40 PSF LL = 60 PSF
- INDICATES LOCATION FOR PLATE TO BE EMBEDDED IN BEAMS FOR HOLD DOWN PURPOSES AT ENDS OF SHEAR WALLS. NET UPLIFT LOAD IS INDICATED NEXT TO MARKER.
- ALL LOADS SHOWN ARE UNFACTORED
 - LIVE LOADS INCLUDE BOTH ROOF SNOW & FLOOR LIVE LOADS
 - INDICATES BEARING WALL
 - INDICATES PLYWOOD SHEAR WALL
 - INDICATES STEEL CROSS BRACING
 - INDICATES LOAD SPREADING BEAM. (STL OR CONC.)



PROJECT NORTH

PRELIMINARY NOT FOR CONSTRUCTION

No	Revisions	Date

Date 1/20/09

Drawn by JG

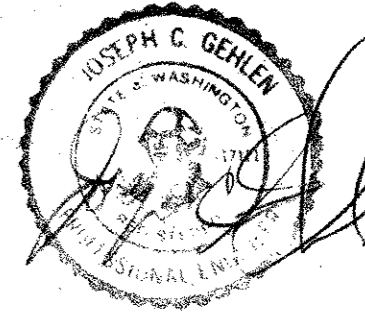
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LOAD MAP

S2

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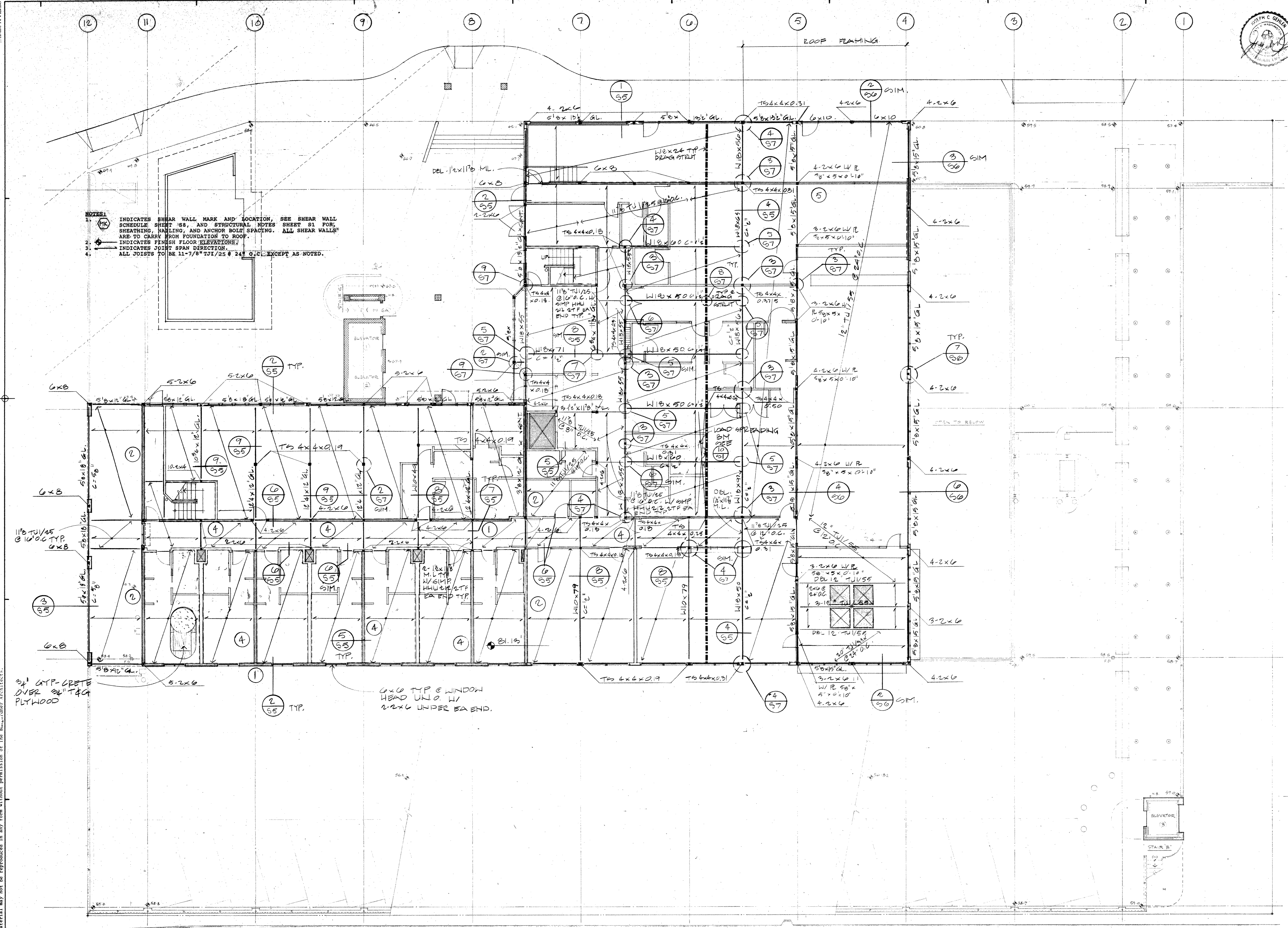
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No.	Revisions	Date
1		1/25/89

Drawn by TJ
Checked by DG

Project No 1114.01
SECOND FLOOR FRAMING PLAN

S4



- NOTES:**
- INDICATES SHEAR WALL MARK AND LOCATION. SEE SHEAR WALL SCHEDULE SHEET S6, AND STRUCTURAL NOTES SHEET S1 FOR SHEATHING, NAILING, AND ANCHOR BOLT SPACING. ALL SHEAR WALLS ARE TO CARRY FROM FOUNDATION TO ROOF.
 - INDICATES FINISH FLOOR ELEVATIONS.
 - INDICATES JOIST SPAN DIRECTION.
 - ALL JOISTS TO BE 11-7/8" TJI/25 @ 24" O.C. EXCEPT AS NOTED.

3/4" GYP-CRETE OVER 3/4" T&G PLTHOOD

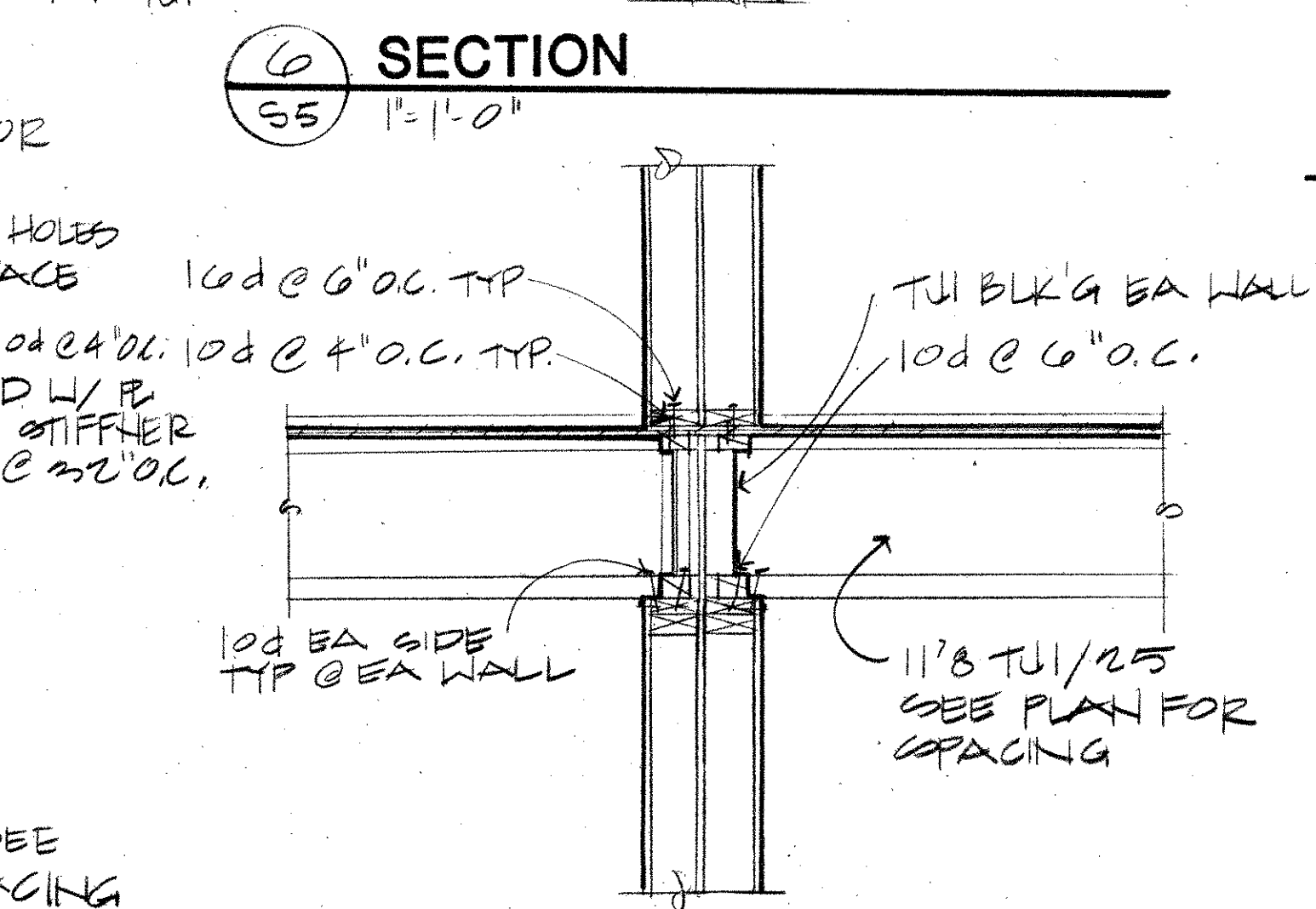
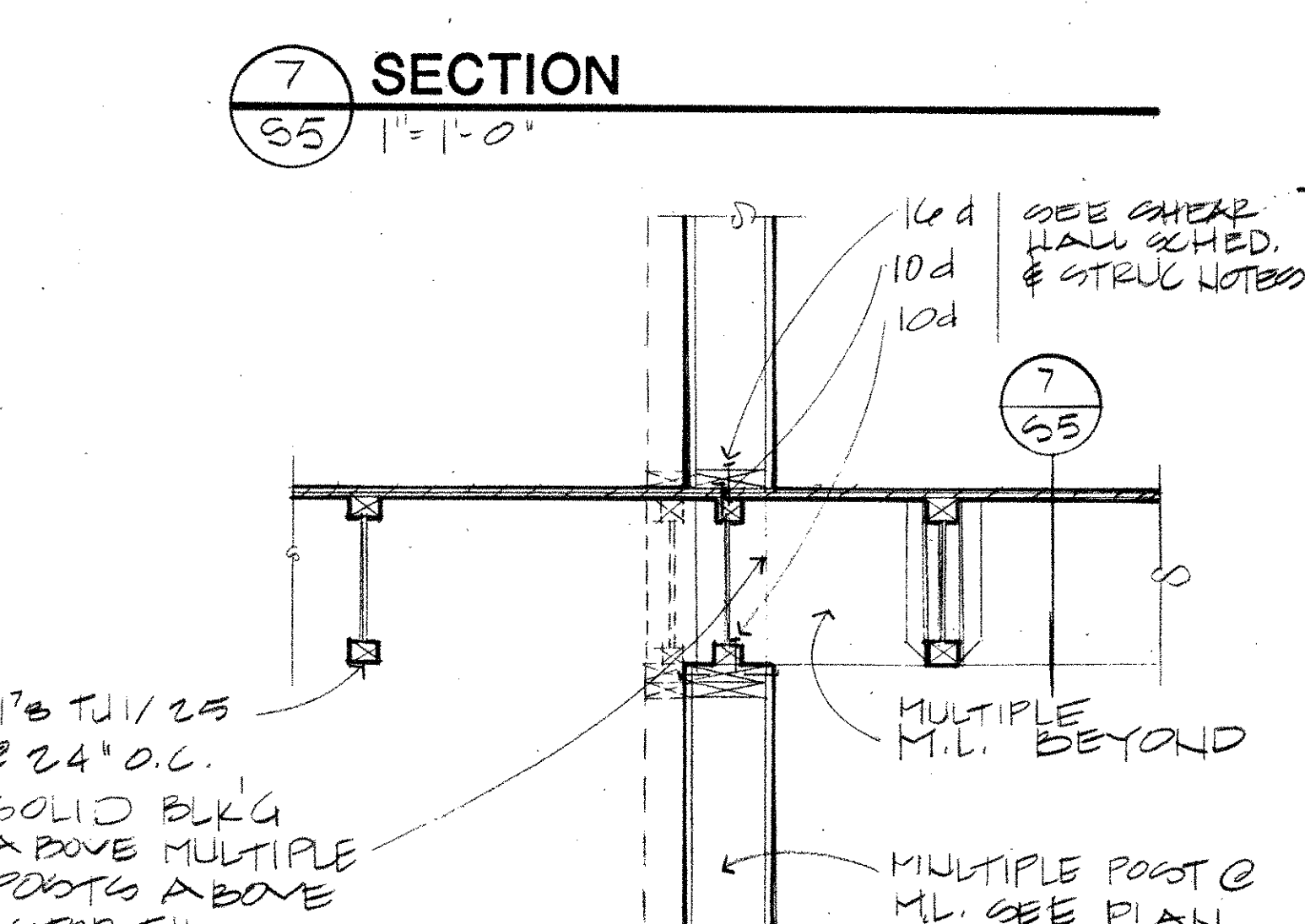
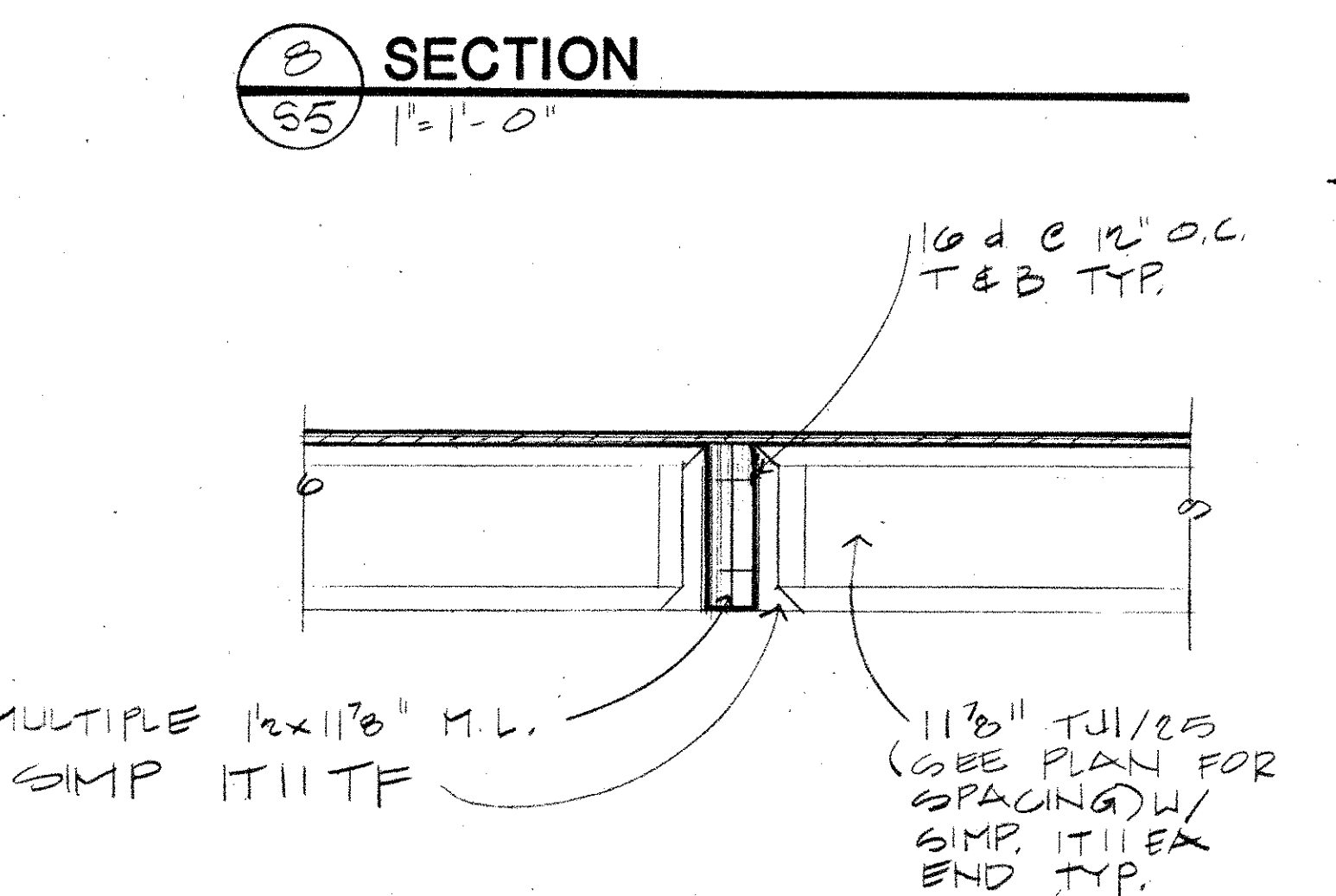
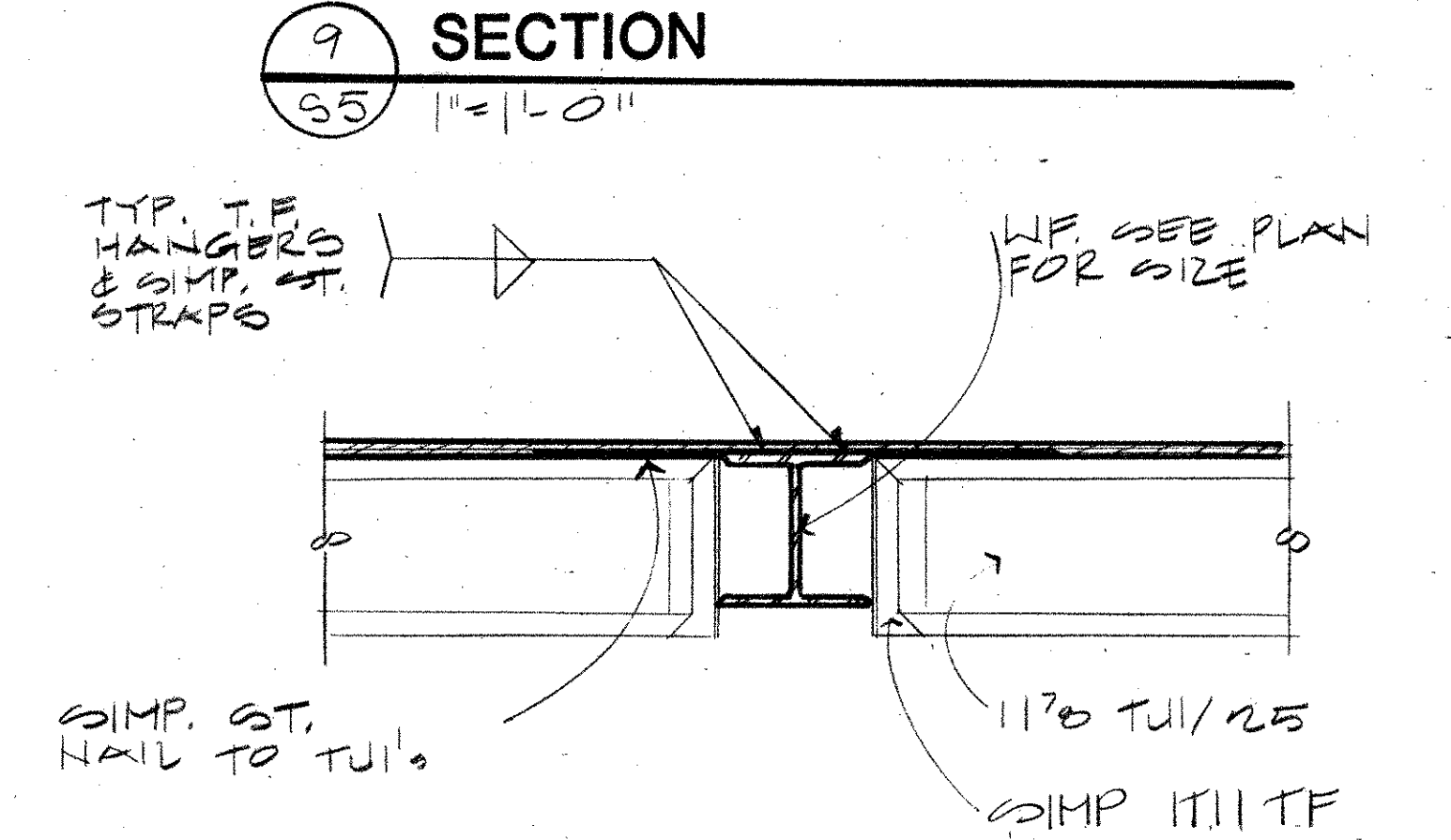
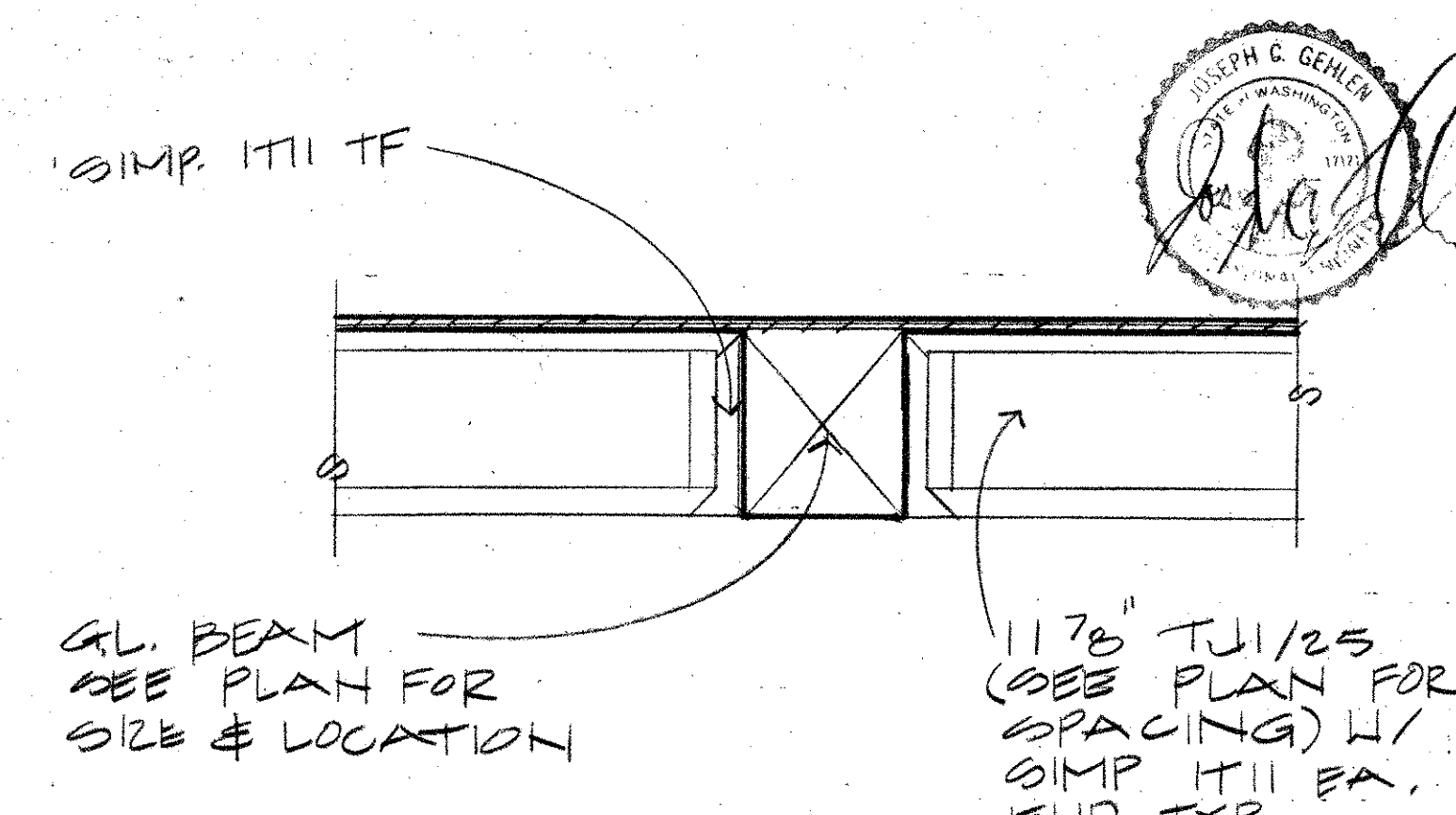
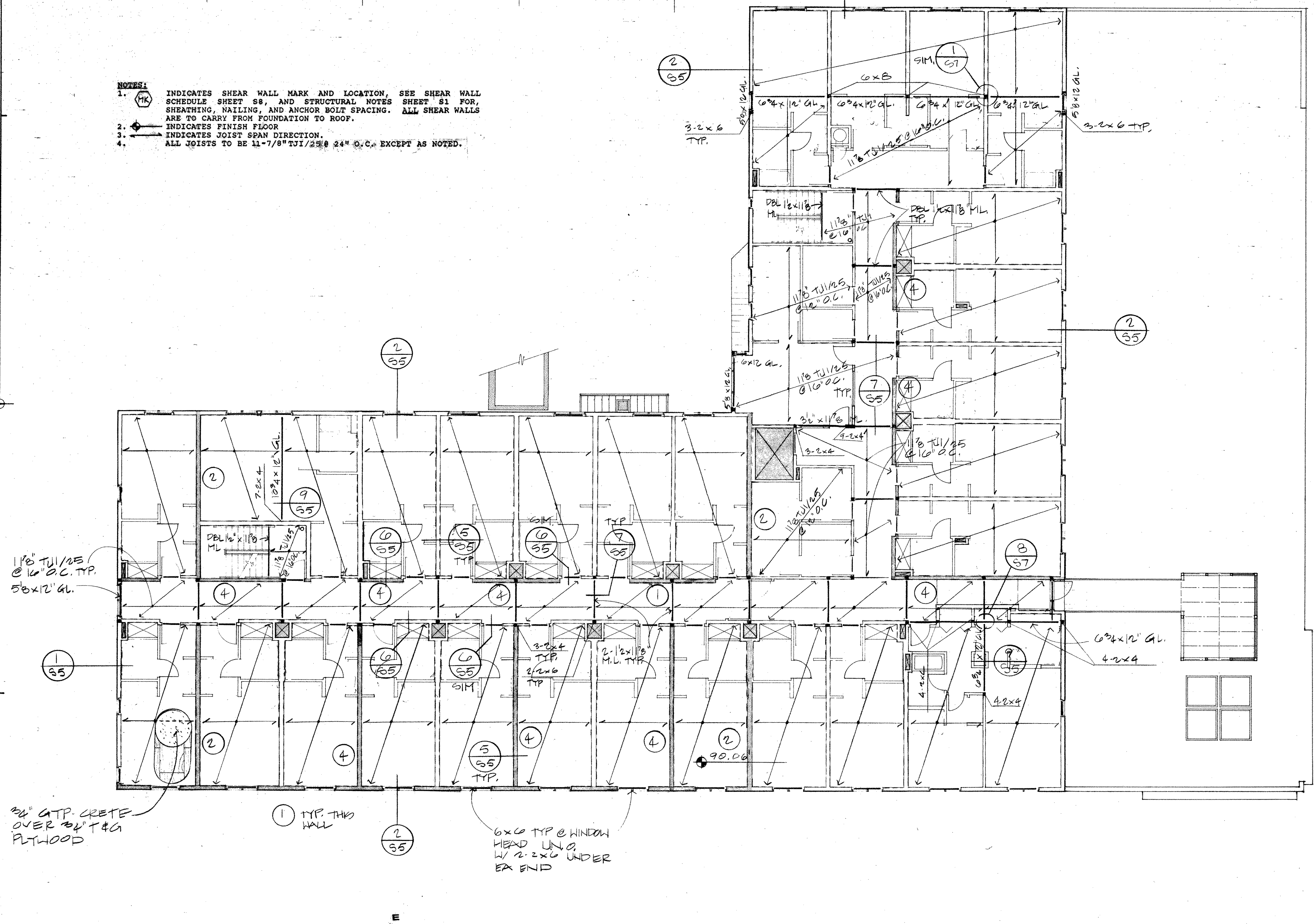
6x6 TYP WINDOW HEAD UNO. W/ 2-2x6 UNDER EA END.

A SECOND FLOOR FRAMING PLAN
S4 1/2" = 1'-0"

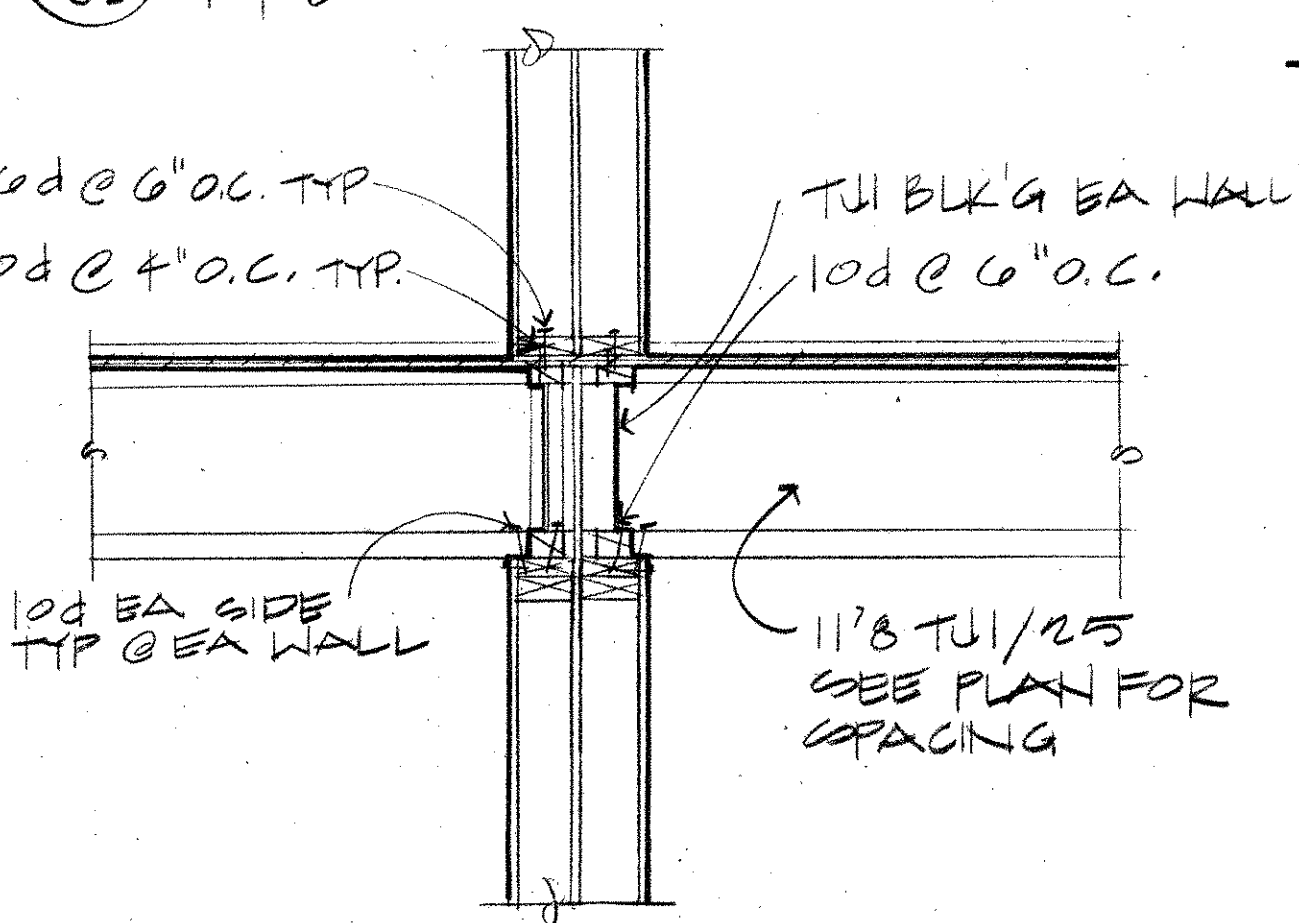
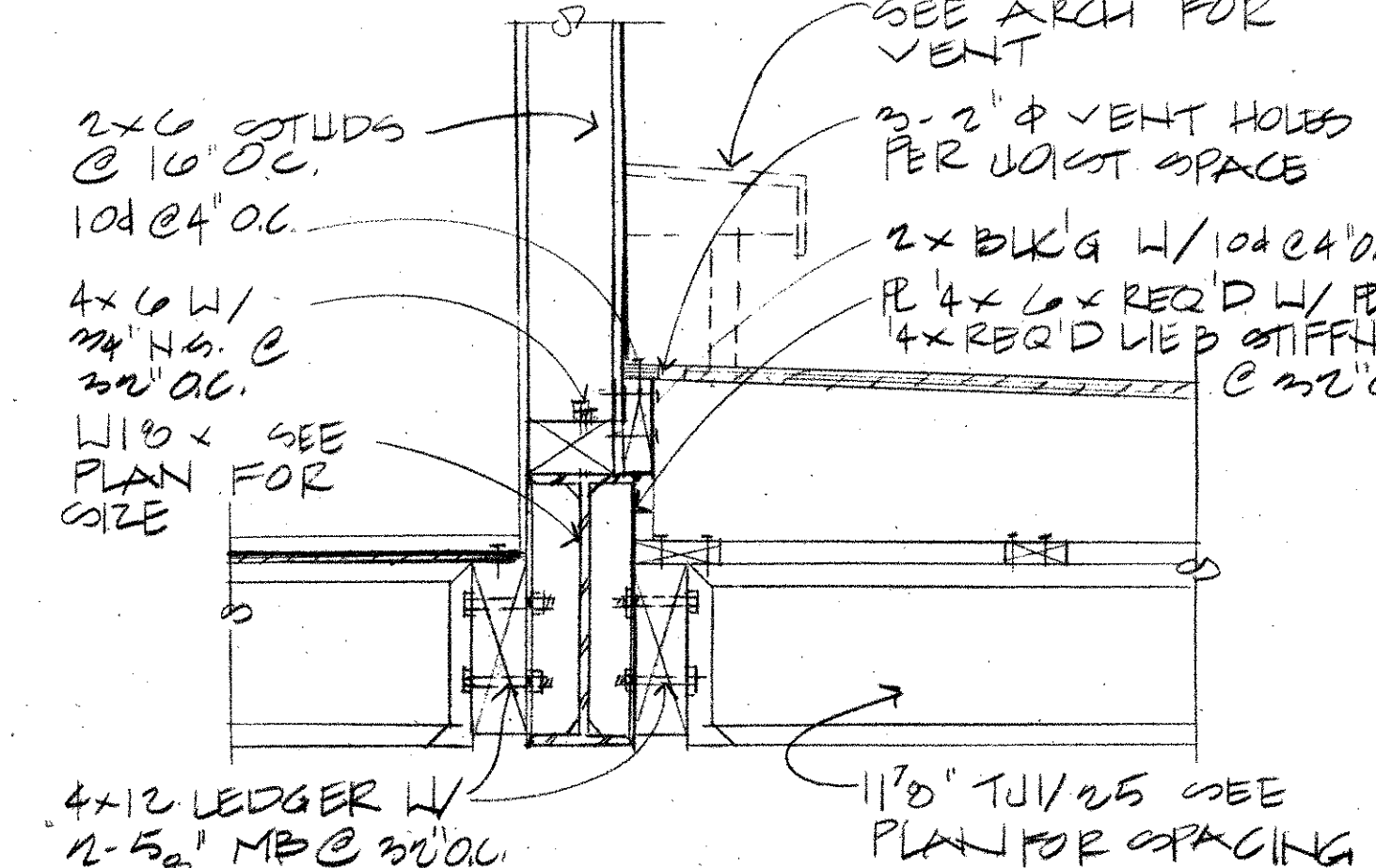
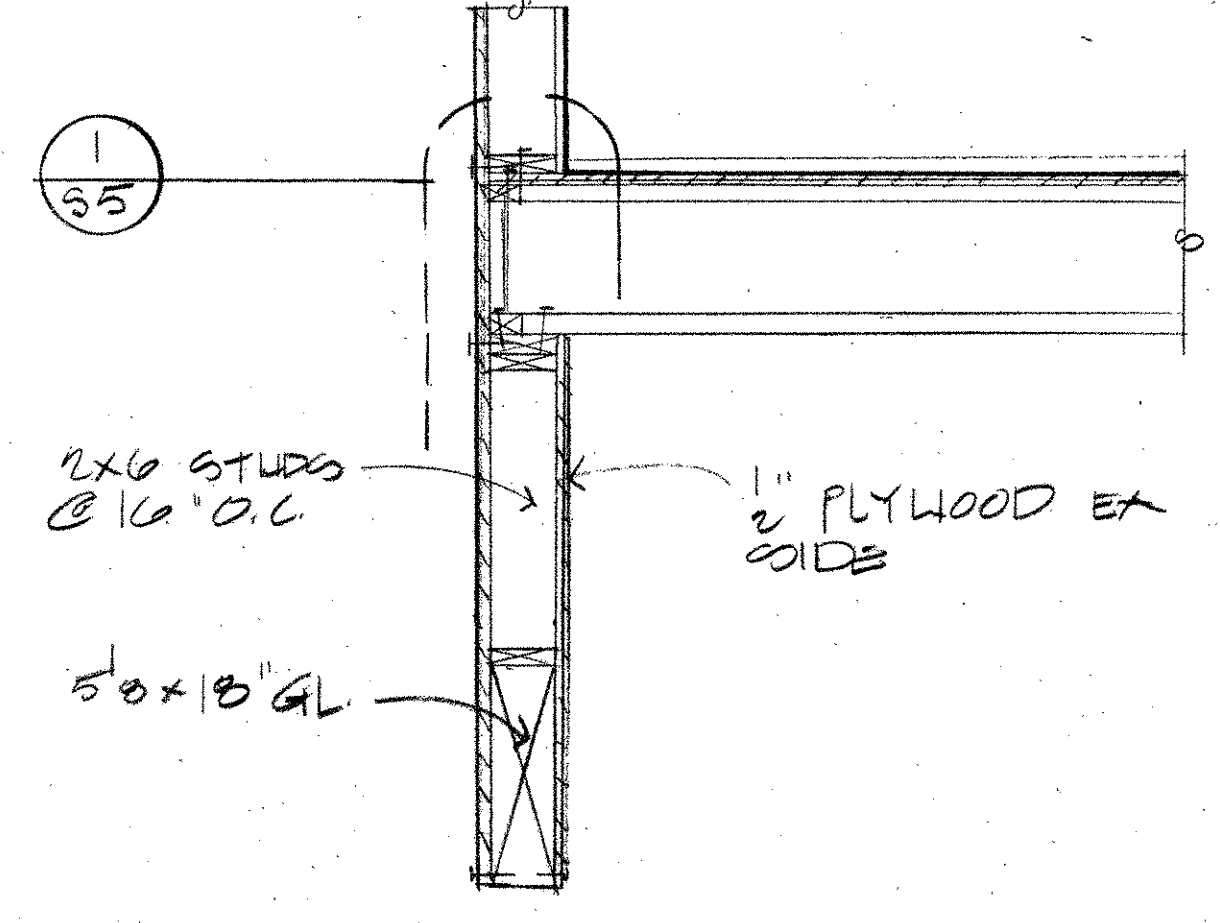
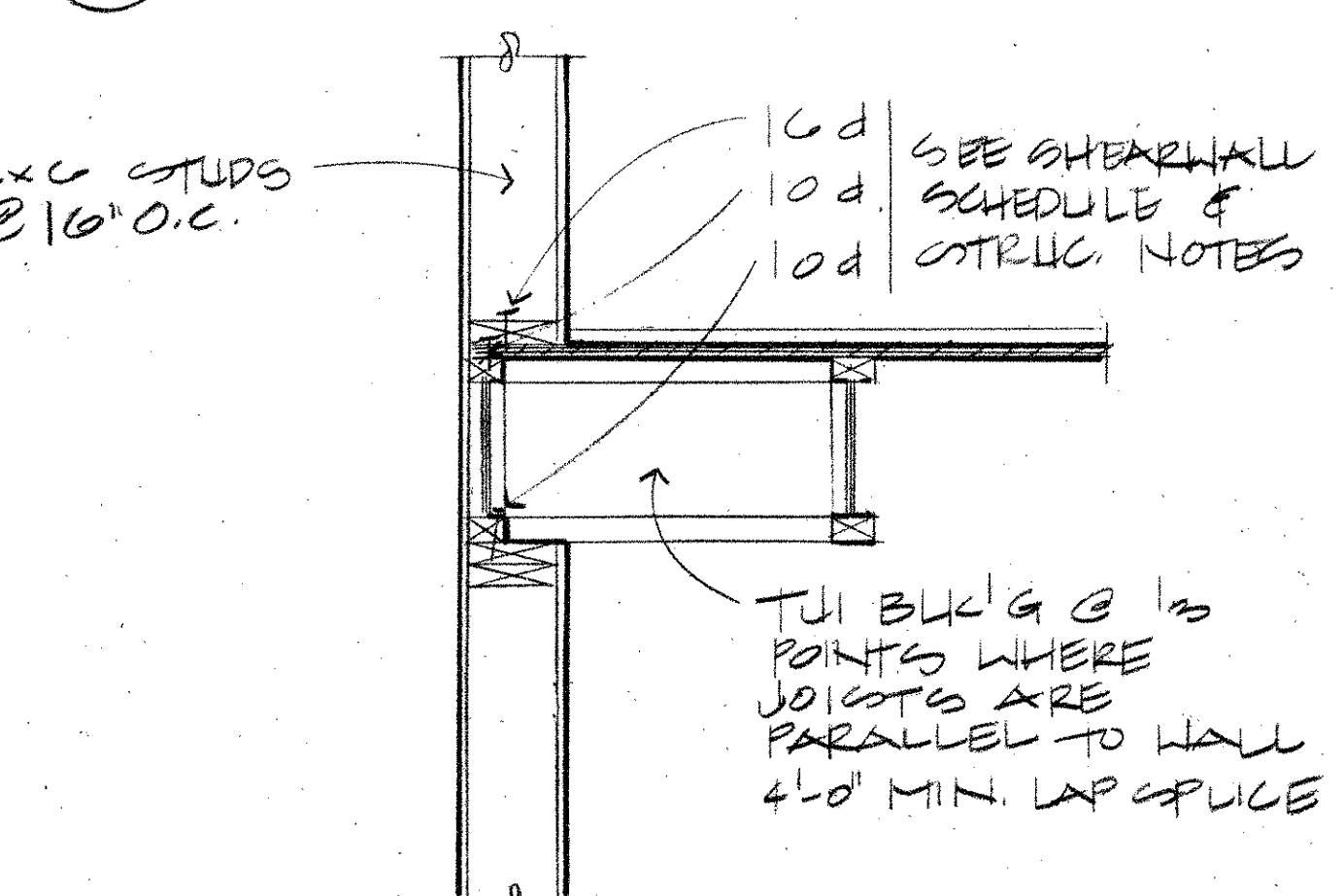
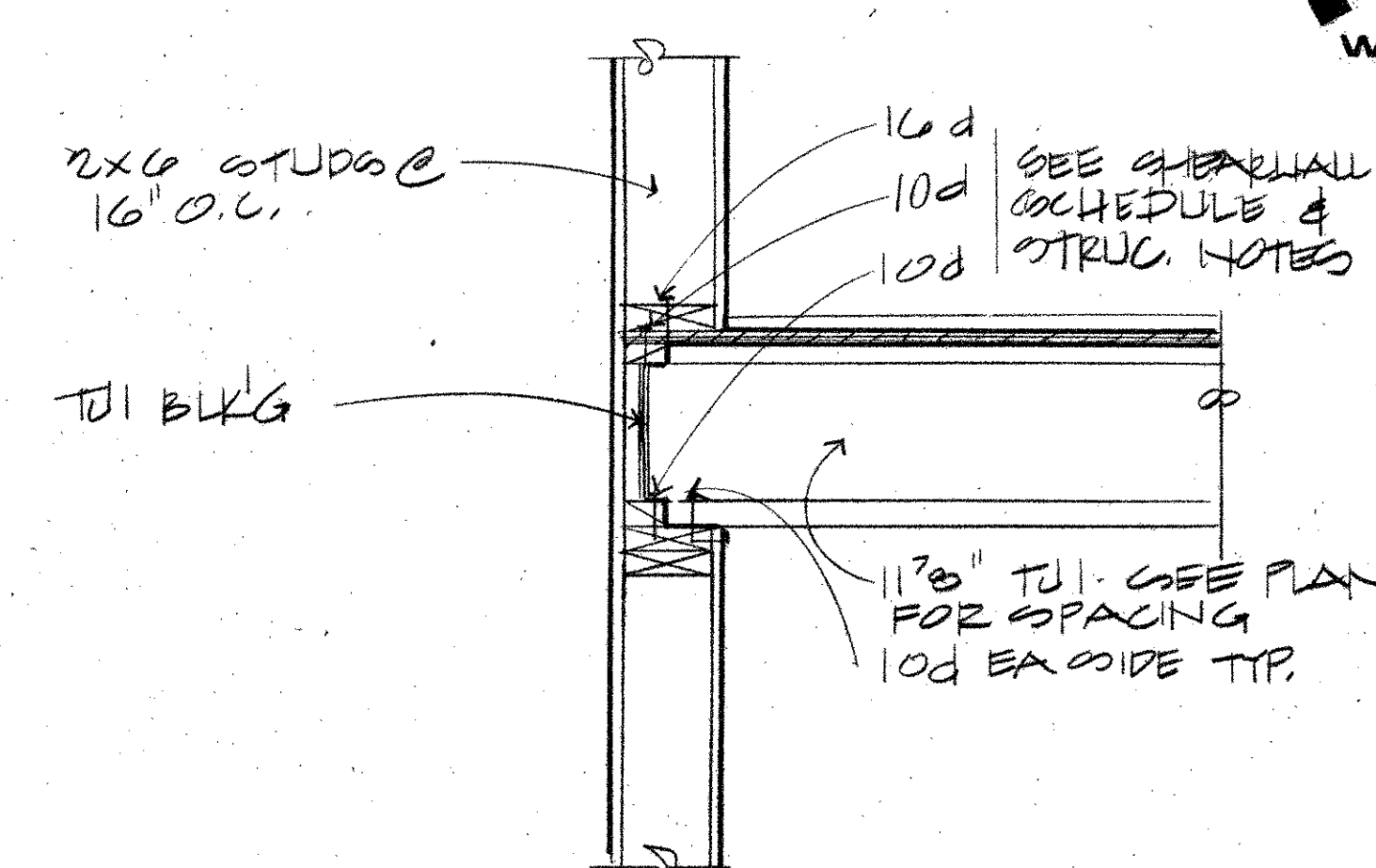
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12 11 10 9 8 7 6 5 4

- NOTES:**
1. INDICATES SHEAR WALL MARK AND LOCATION, SEE SHEAR WALL SCHEDULE SHEET S8, AND STRUCTURAL NOTES SHEET S1 FOR SHEATHING, NAILING, AND ANCHOR BOLT SPACING. ALL SHEAR WALLS ARE TO CARRY FROM FOUNDATION TO ROOF.
 2. INDICATES FINISH FLOOR.
 3. INDICATES JOIST SPAN DIRECTION.
 4. ALL JOISTS TO BE 11-7/8" TJI/25 @ 24" O.C. EXCEPT AS NOTED.



A THIRD FLOOR FRAMING PLAN



1 SECTION 1"=1'-0"

2 SECTION 1"=1'-0"

3 SECTION 3/4"=1'-0"

4 SECTION 1"=1'-0"

5 SECTION 1"=1'-0"

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SEATTLE, WASHINGTON 98101
206-223-1361

Kramer Gehlen Associates Inc.
Consulting Engineers
Structural - Civil
400 COLUMBIA STREET, SUITE 240
VANCOUVER, WASHINGTON U.S.A. 98660

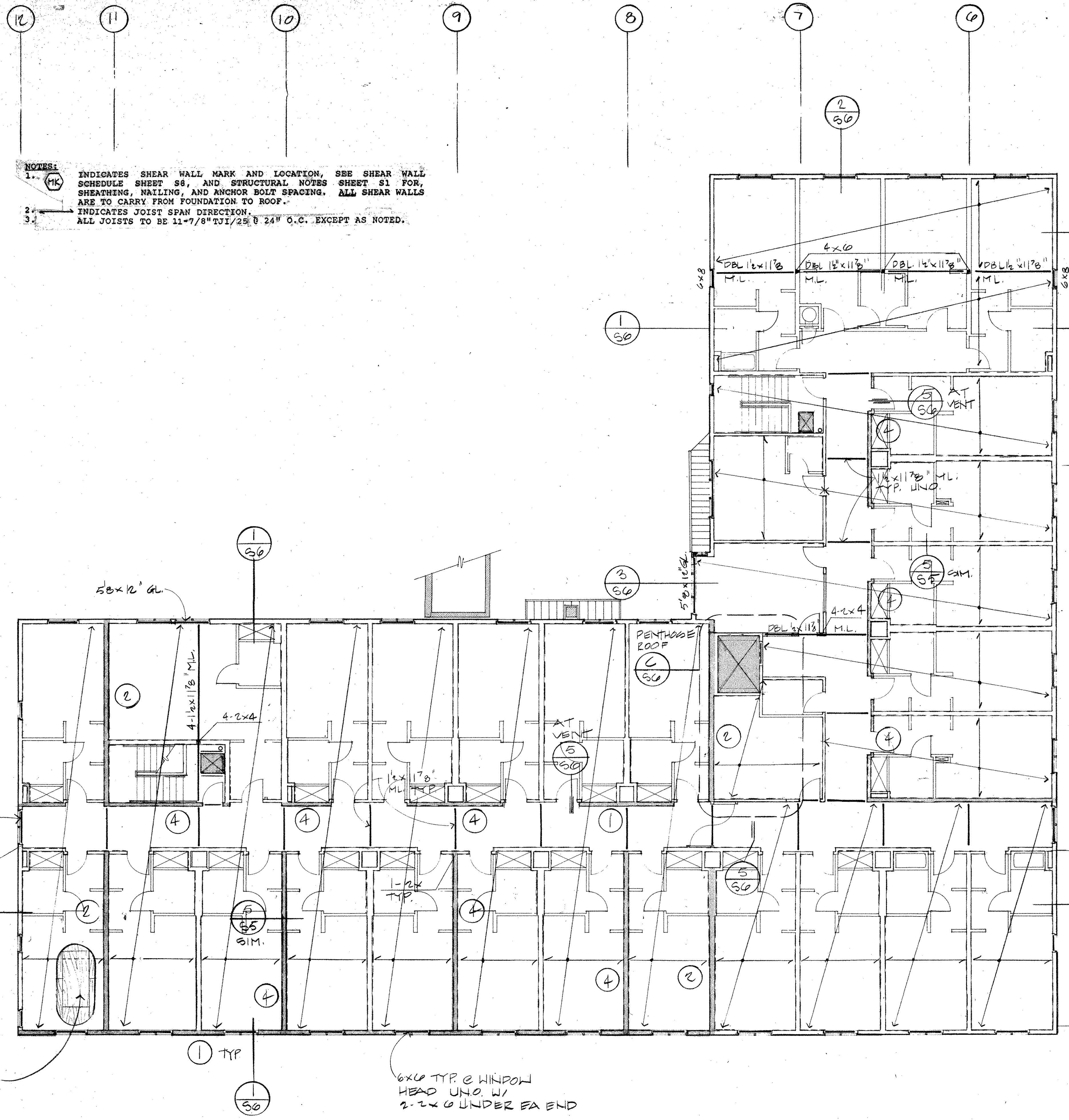
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
for the SEATTLE HOUSING AUTHORITY
by the PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY

No	Revisions	Date

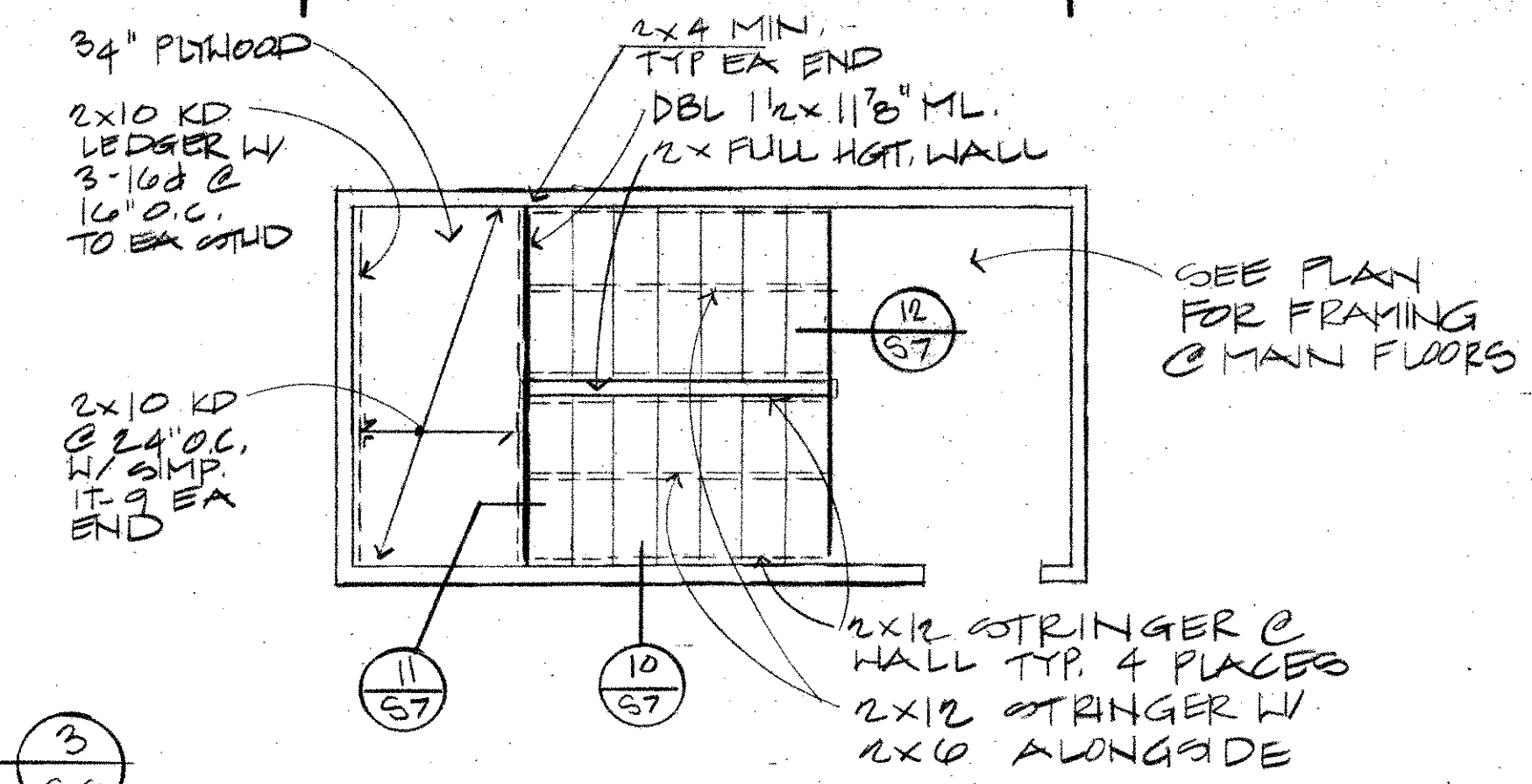
Project No 1114.01
THIRD FLOOR FRAMING PLAN
DETAILS

S5

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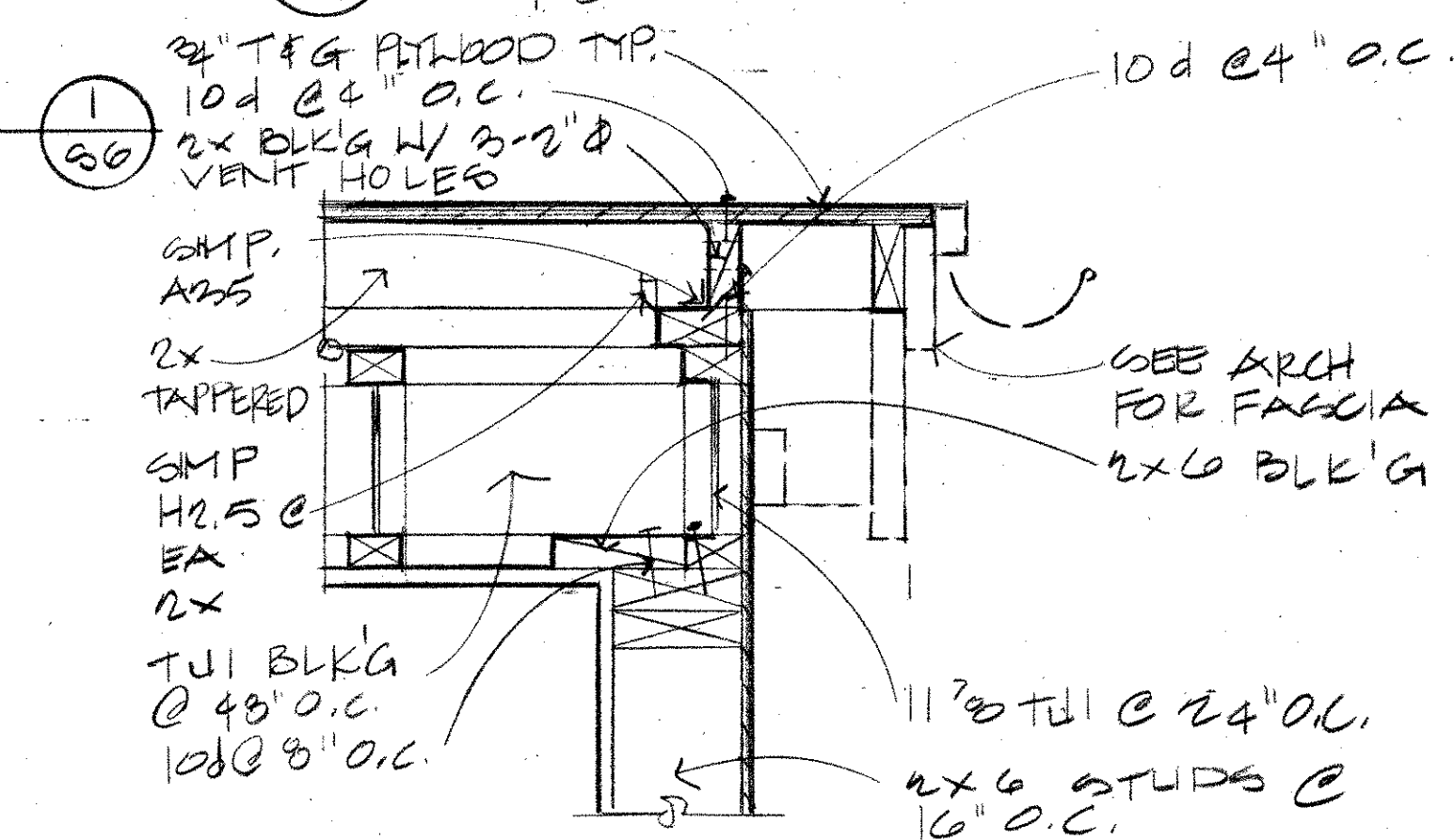


NOTES:
1. (MK) INDICATES SHEAR WALL MARK AND LOCATION, SEE SHEAR WALL SCHEDULE SHEET S8, AND STRUCTURAL NOTES SHEET S1 FOR SHEARWALL, NAILING, AND ANCHOR BOLT SPACING. ALL SHEAR WALLS ARE TO CARRY FROM FOUNDATION TO ROOF.
2. INDICATES JOIST SPAN DIRECTION.
3. ALL JOISTS TO BE 11-7/8" TJI/25 @ 24" O.C. EXCEPT AS NOTED.

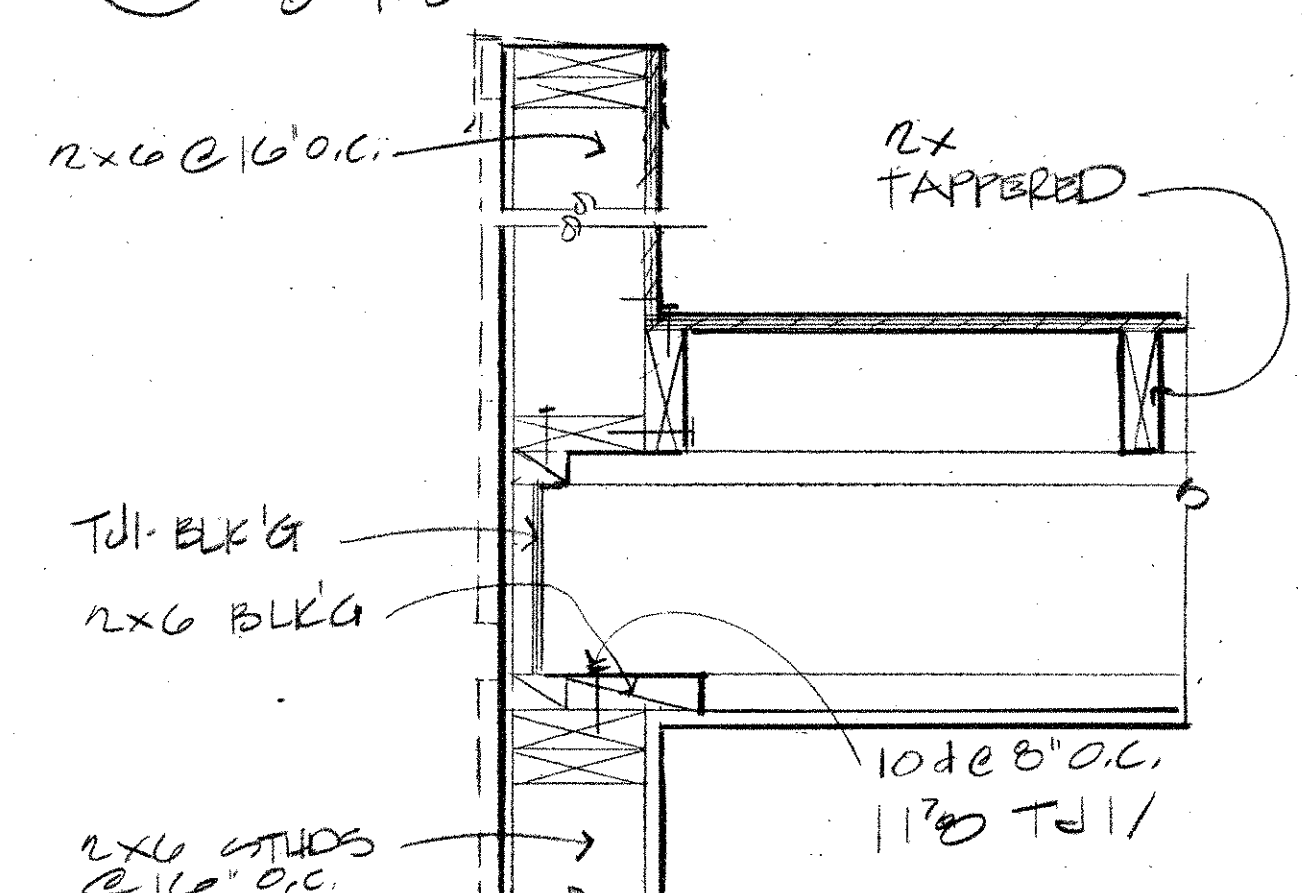


B PLAN TYP. STAIR FRAMING
1" = 1'-0"

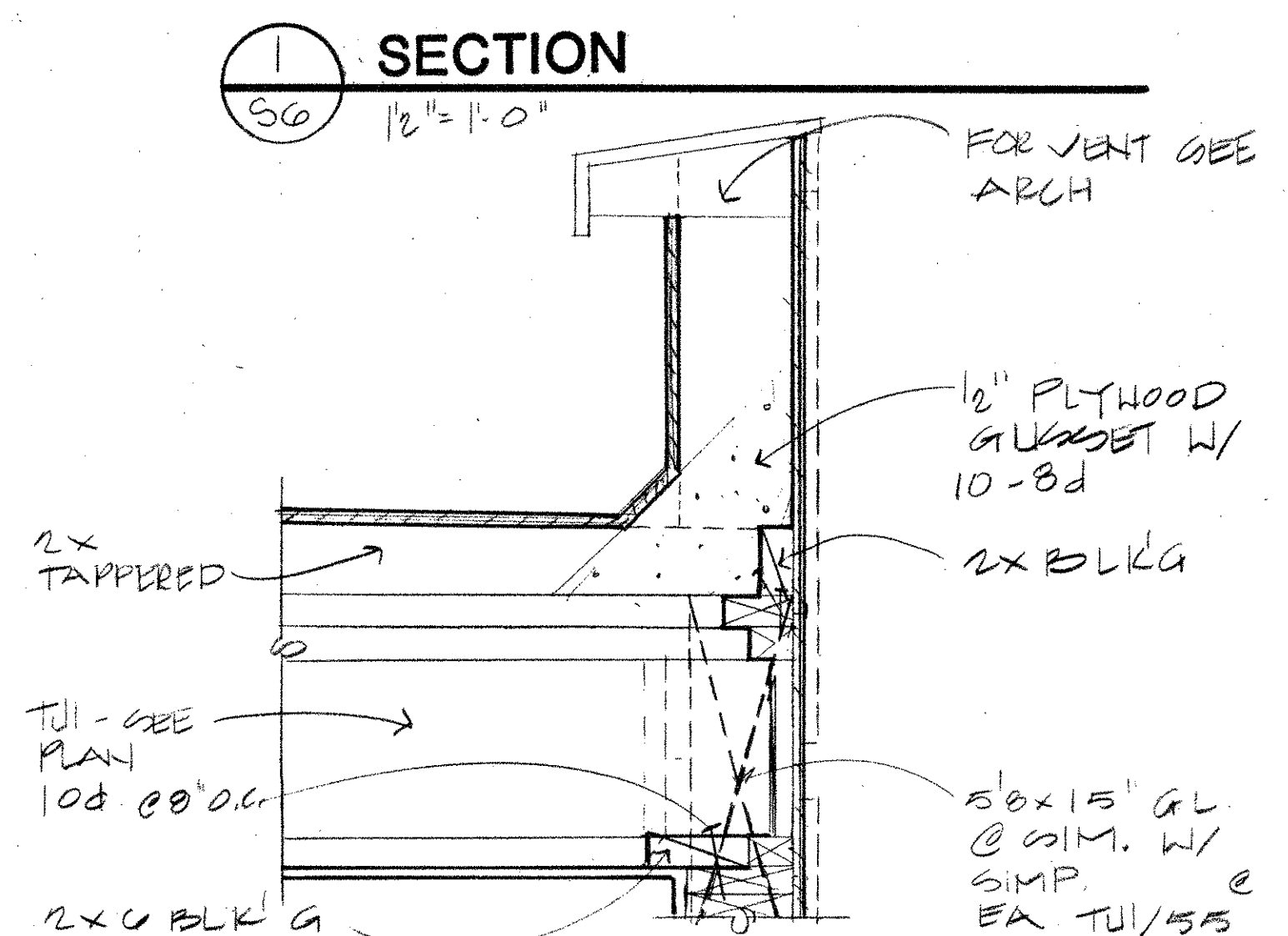
C PLAN
1" = 1'-0"



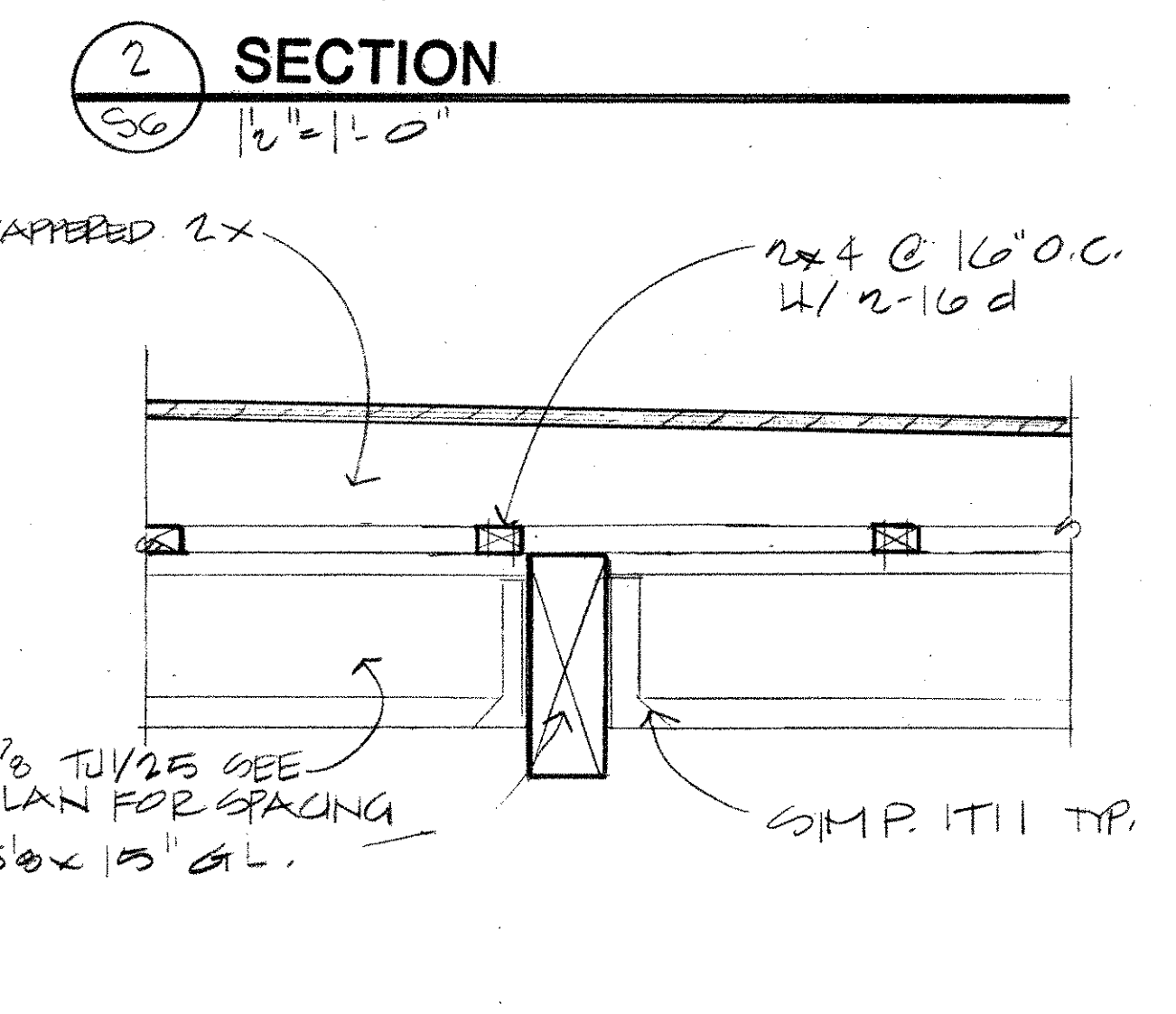
1 SECTION
1/2" = 1'-0"



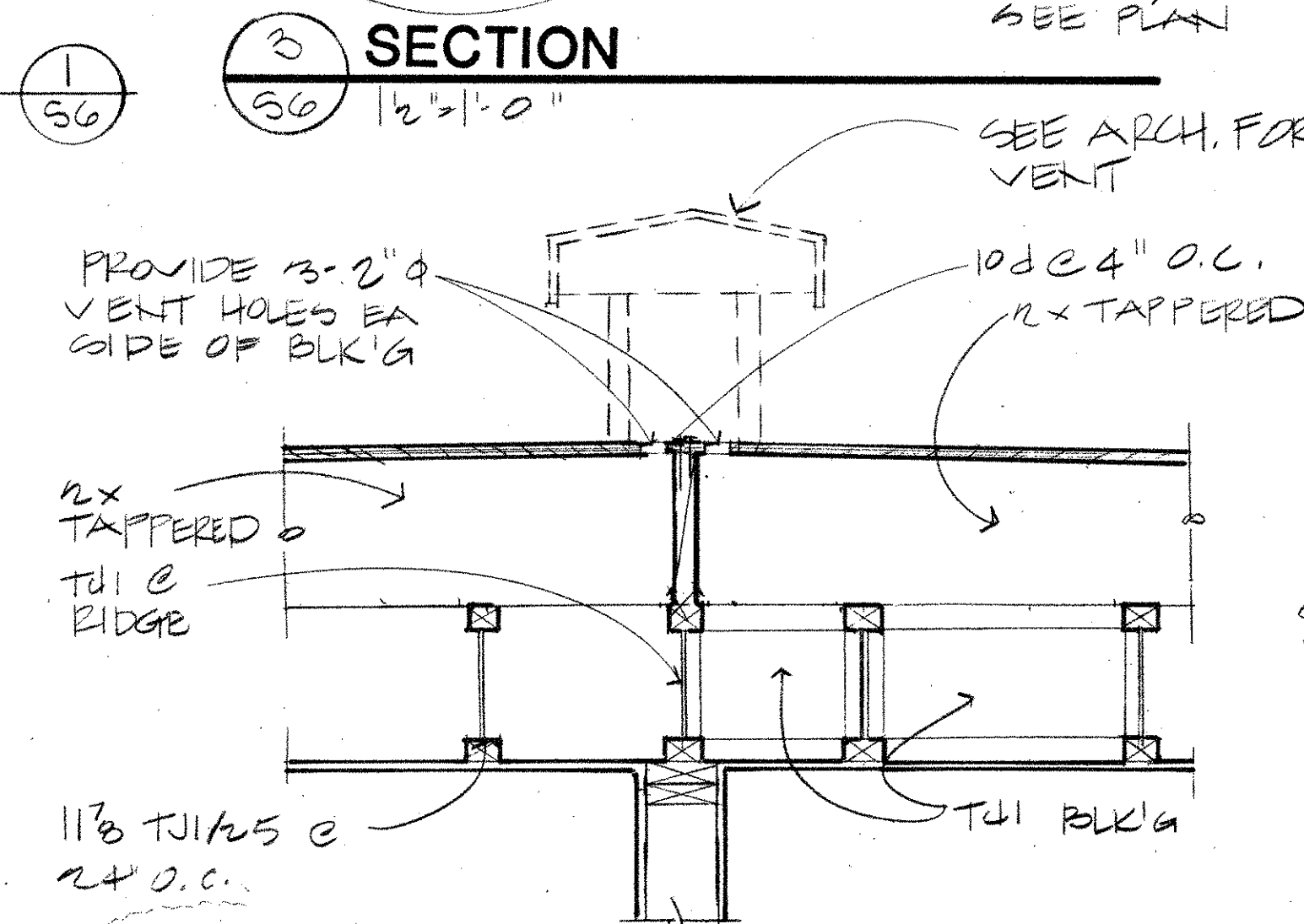
2 SECTION
1/2" = 1'-0"



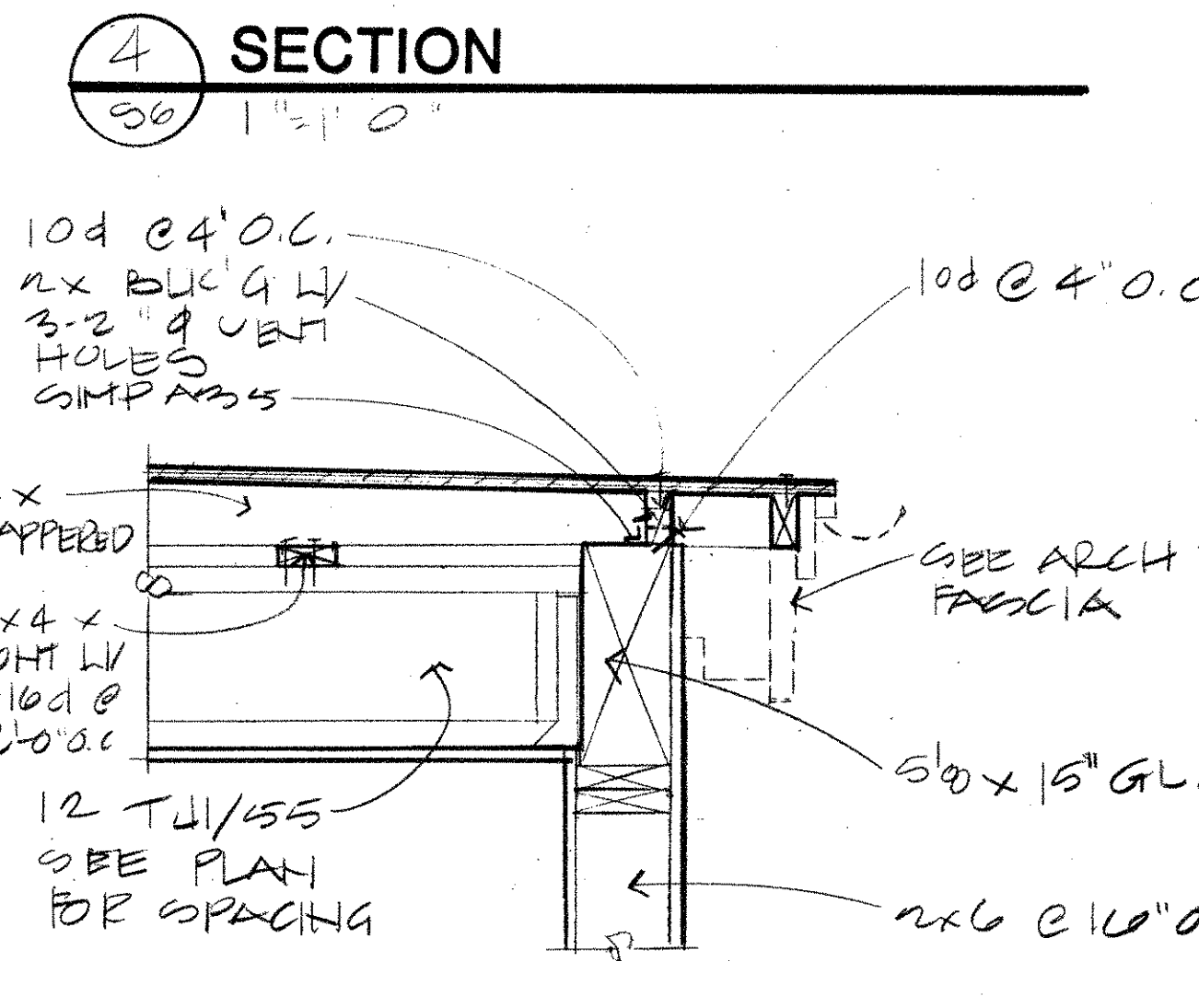
3 SECTION
1/2" = 1'-0"



4 SECTION
1" = 1'-0"

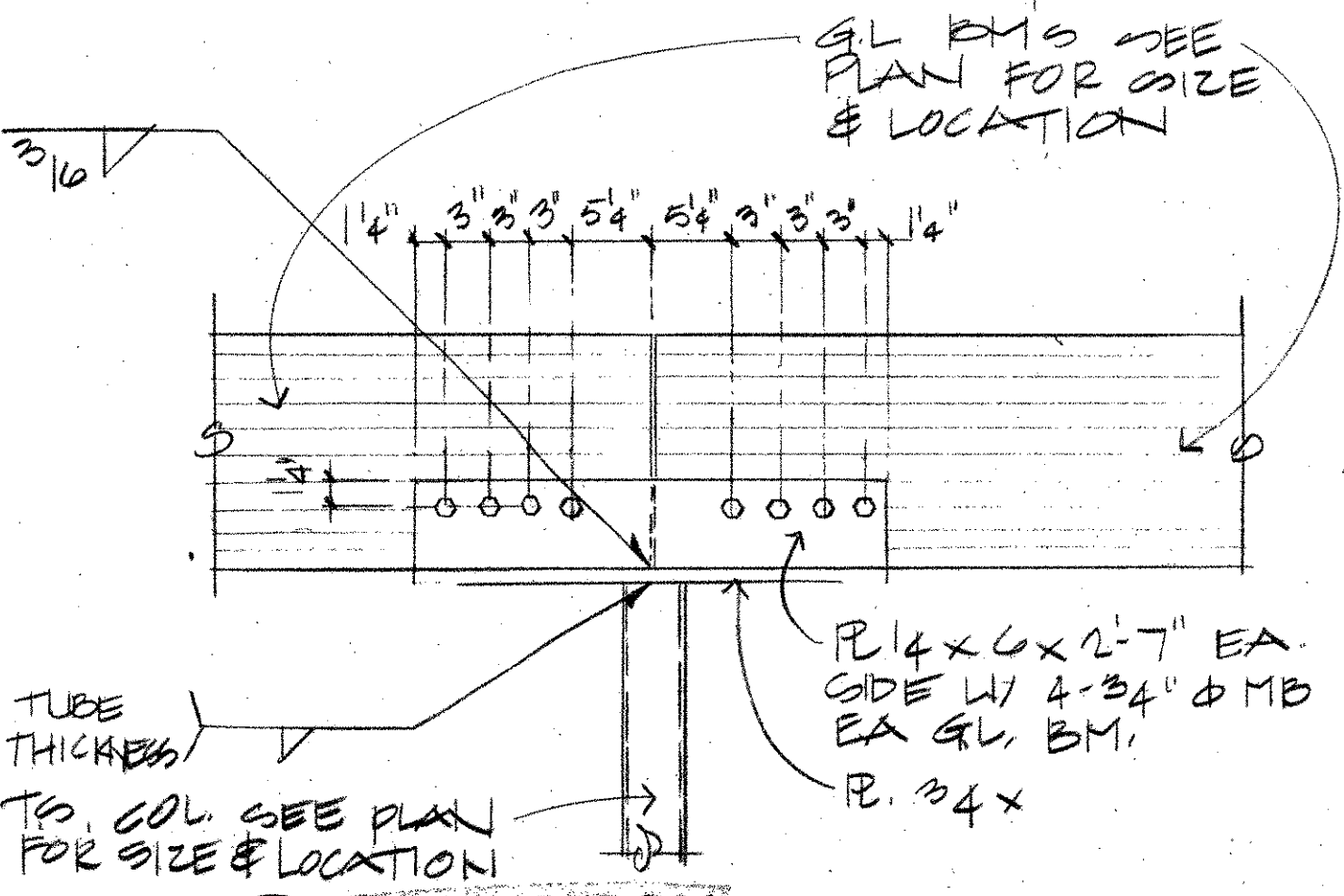
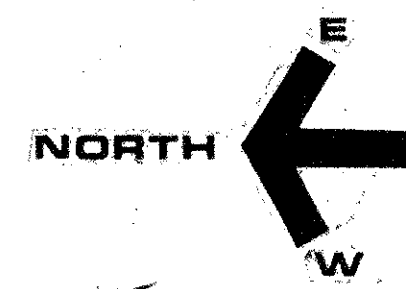


5 SECTION
1" = 1'-0"



6 SECTION
1" = 1'-0"

A ROOF FRAMING PLAN
1/8" = 1'-0"



7 ELEVATION
1" = 1'-0"

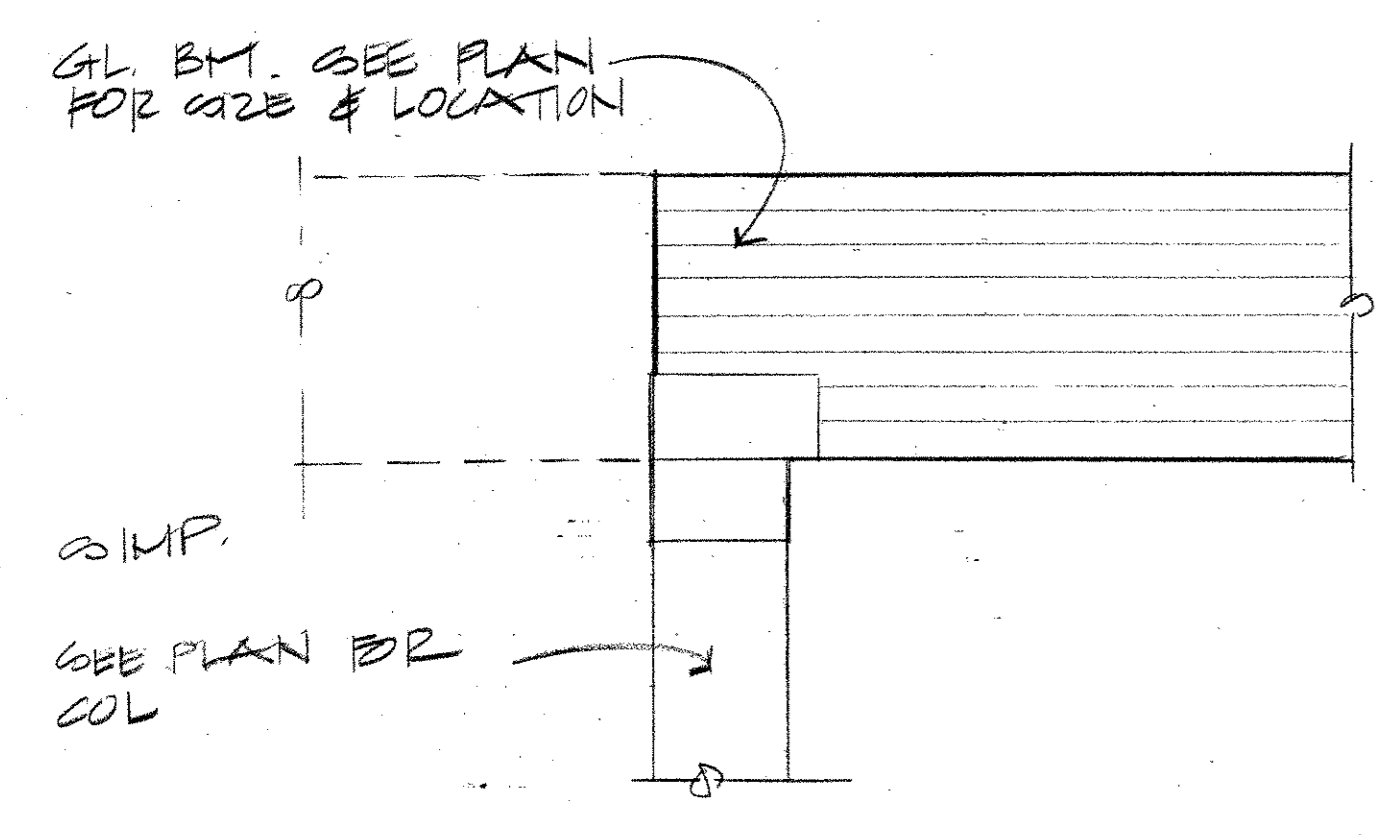
PIKE PLACE MARKET CONGREGATE CARE RESIDENCE
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No	Revisions	Date

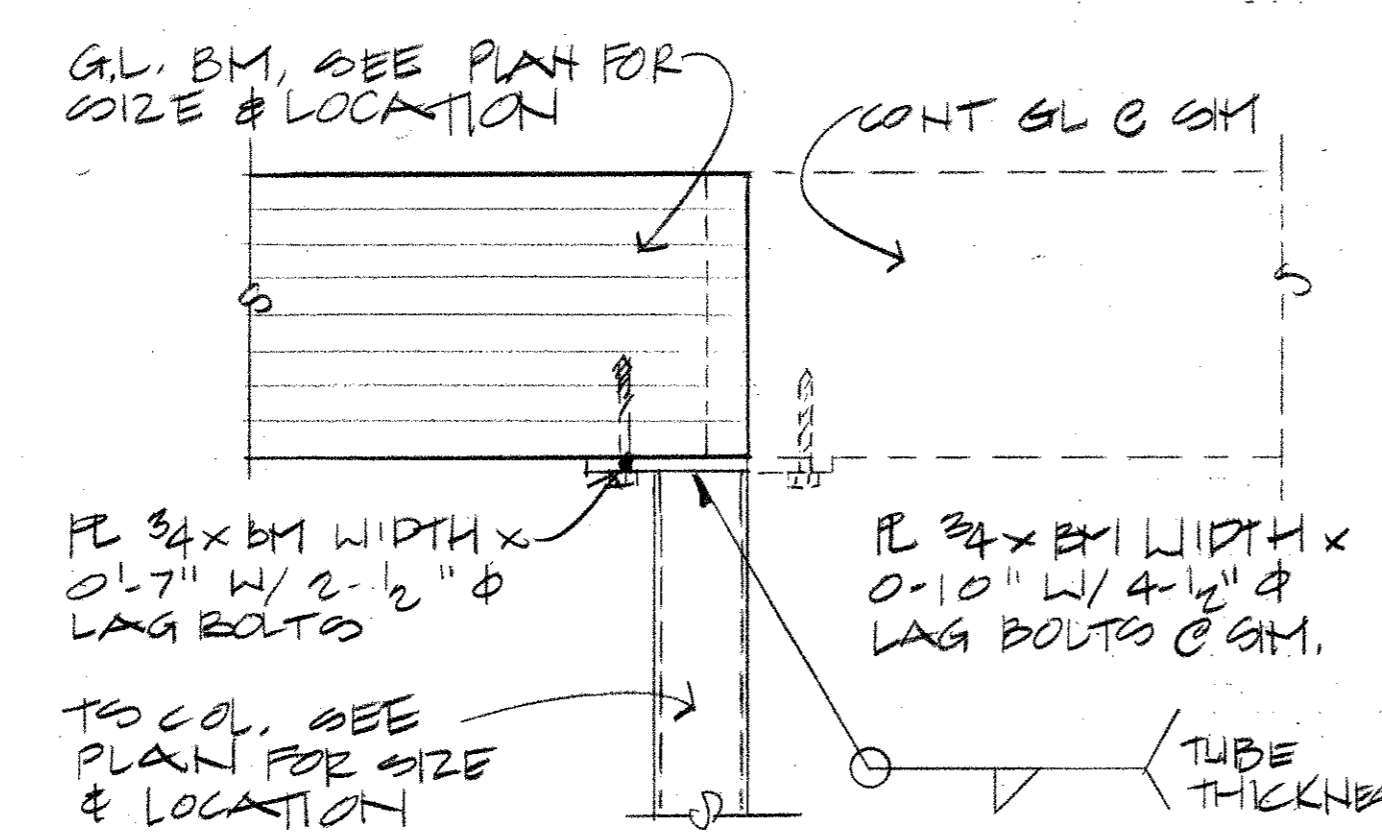
Project No 1114.01

ROOF FRAMING PLAN
DETAILS

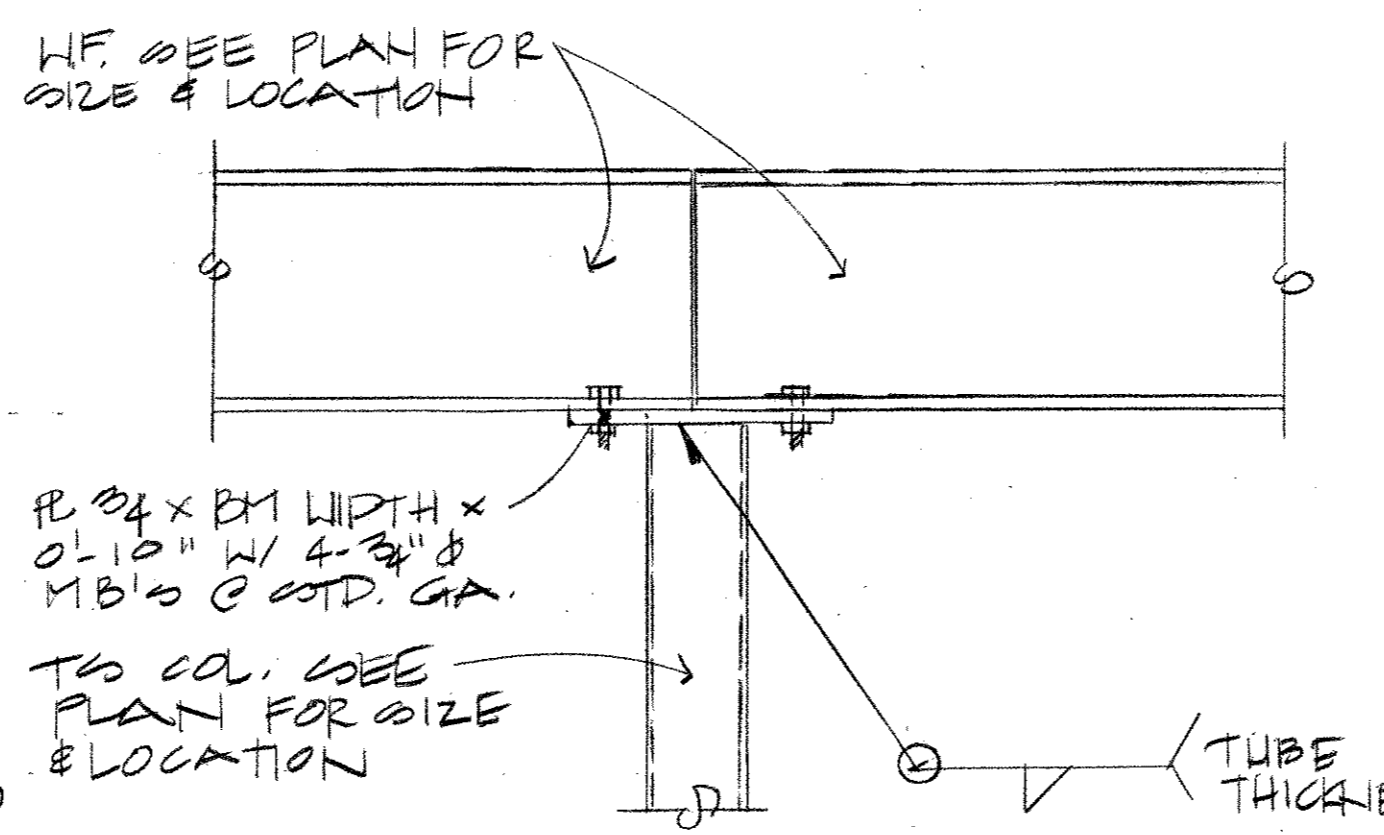
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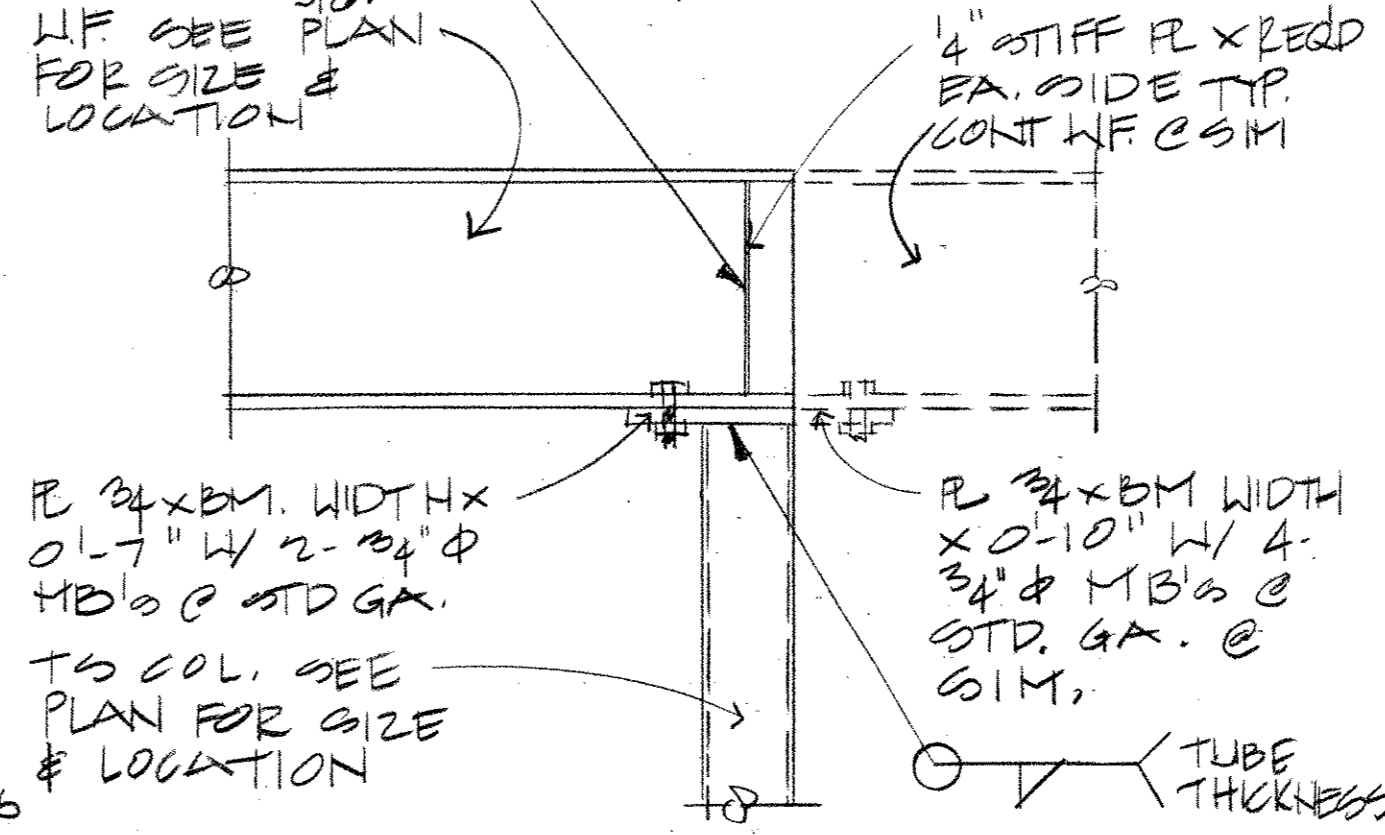
1 ELEVATION
S7 1/2" = 1'-0"



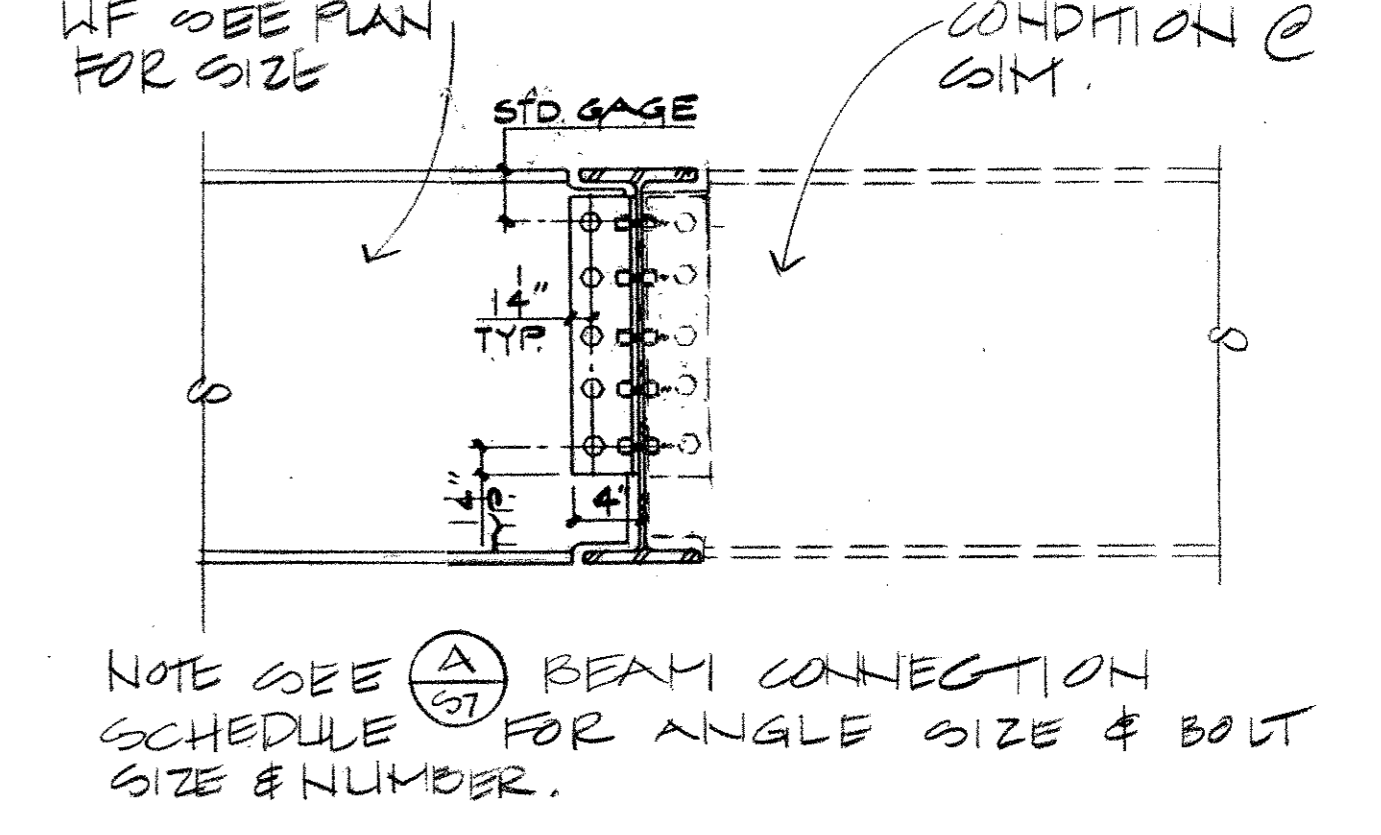
2 ELEVATION
S7 1/2" = 1'-0"



3 ELEVATION
S7 1/2" = 1'-0"

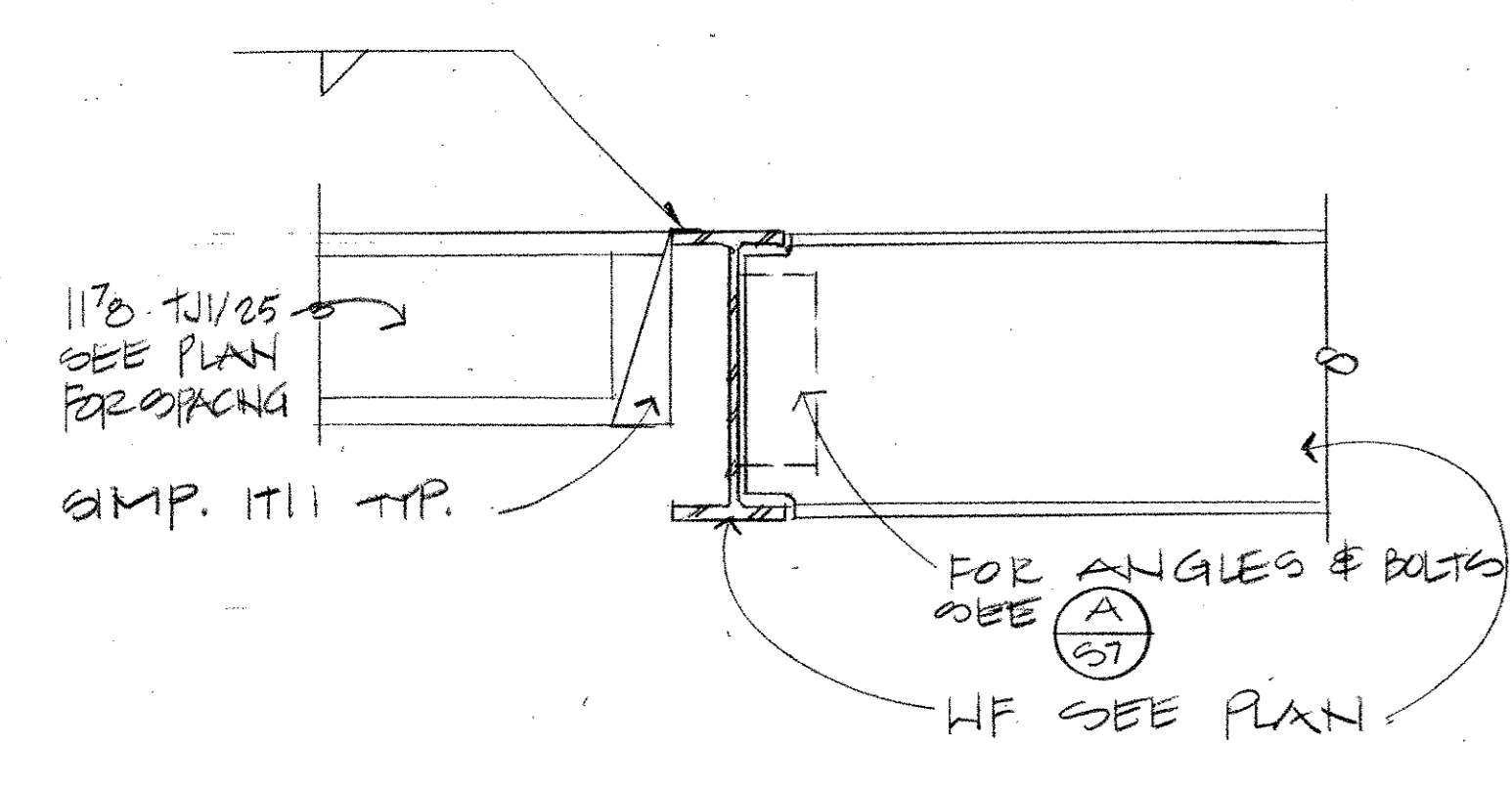


4 ELEVATION
S7 1/2" = 1'-0"

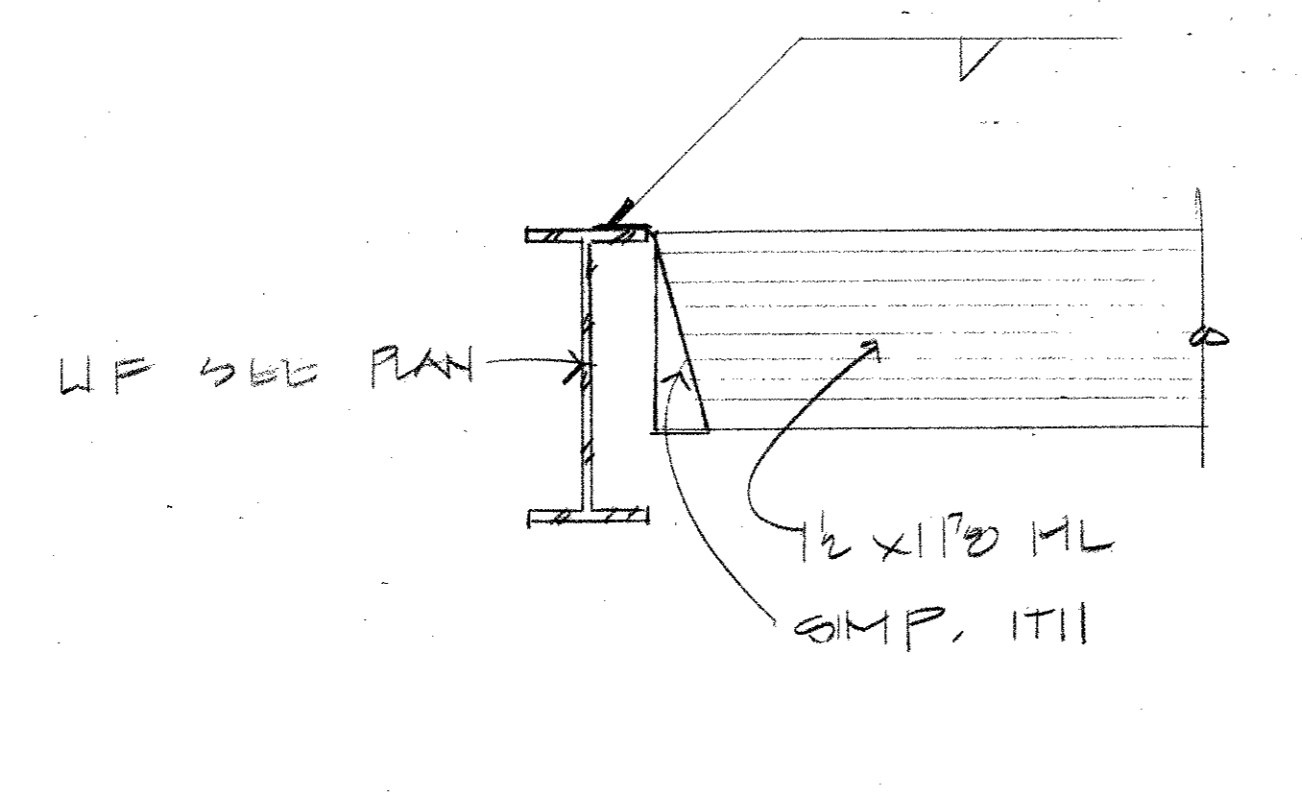


5 SECTION
S7

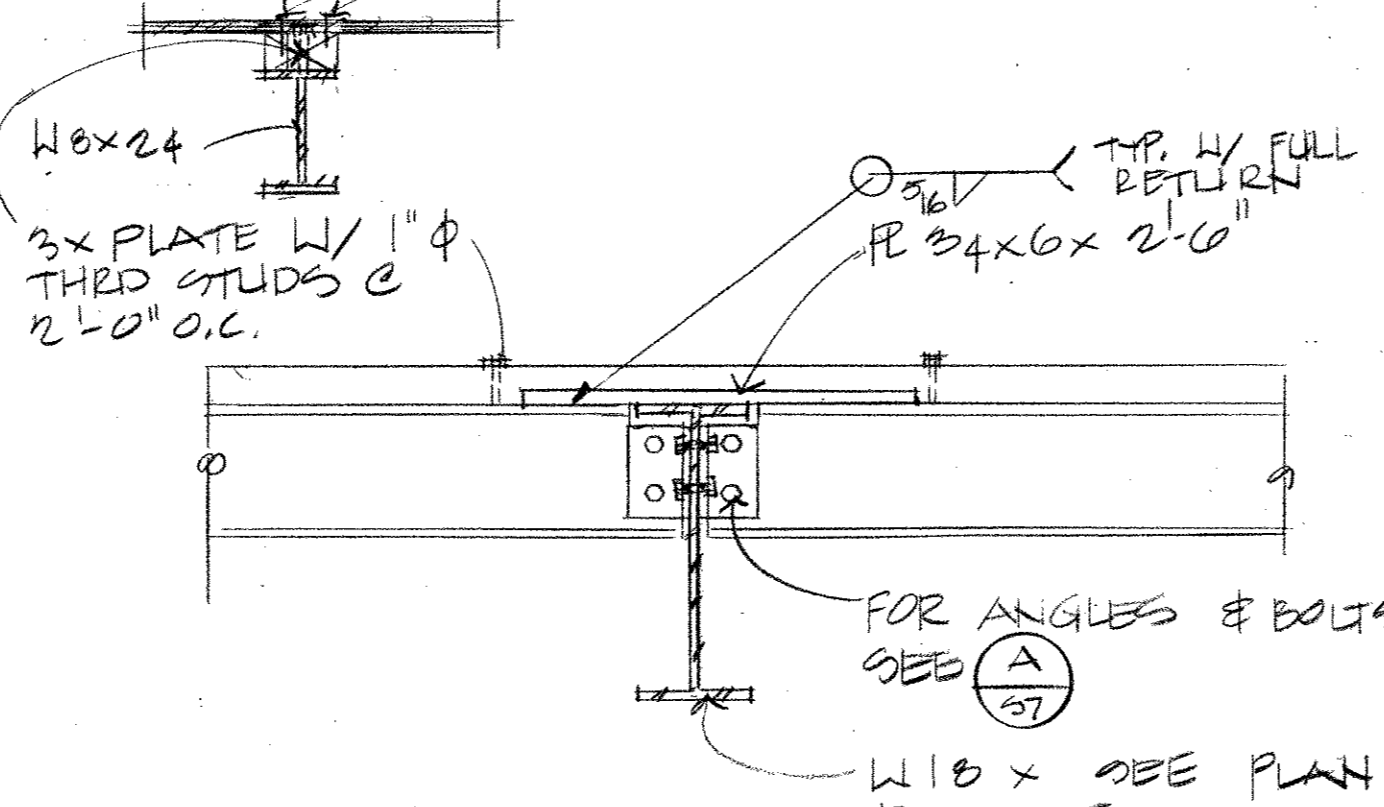
NOTE SEE (A) BEAM CONNECTION SCHEDULE FOR ANGLE SIZE & BOLT SIZE & NUMBER.



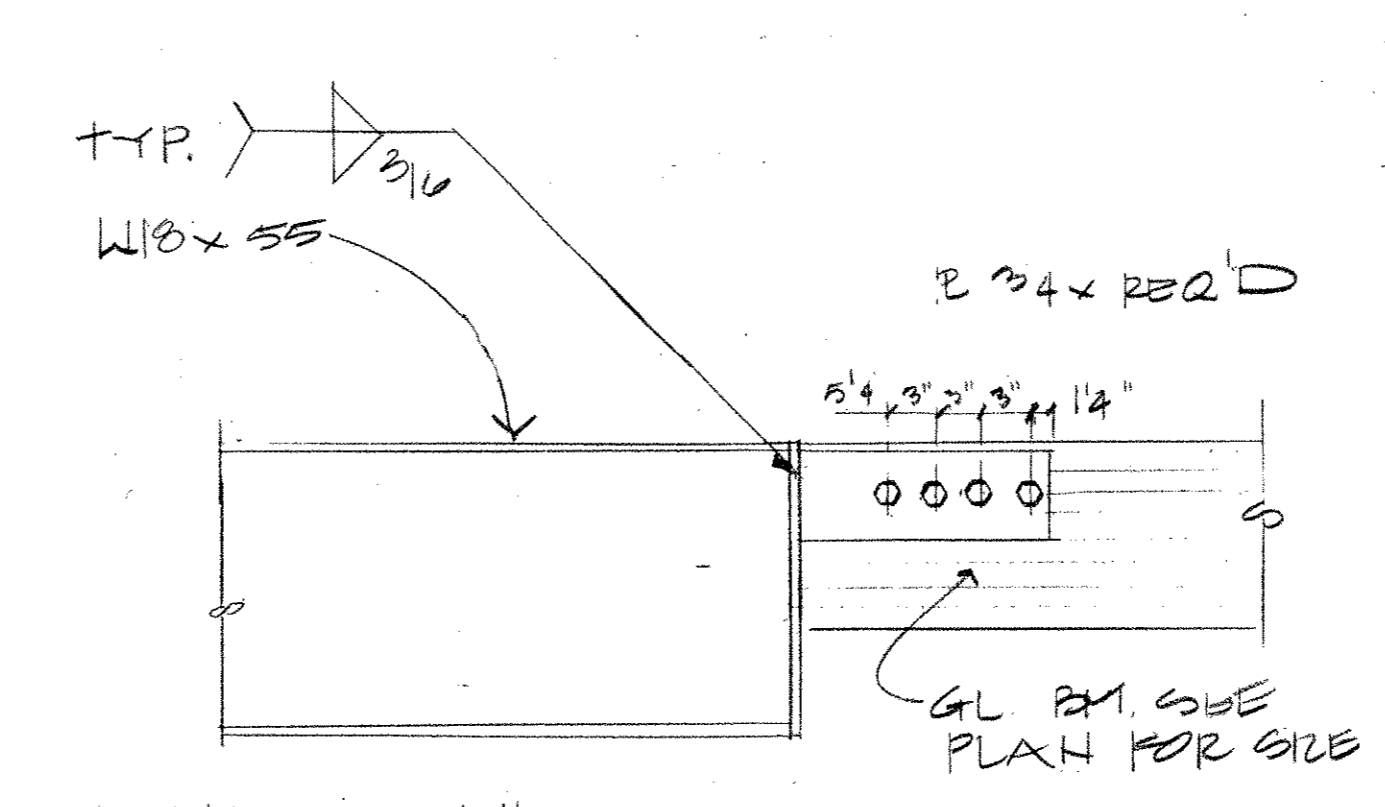
6 ELEVATION
S7 1" = 1'-0"



7 SECTION
S7 1" = 1'-0"



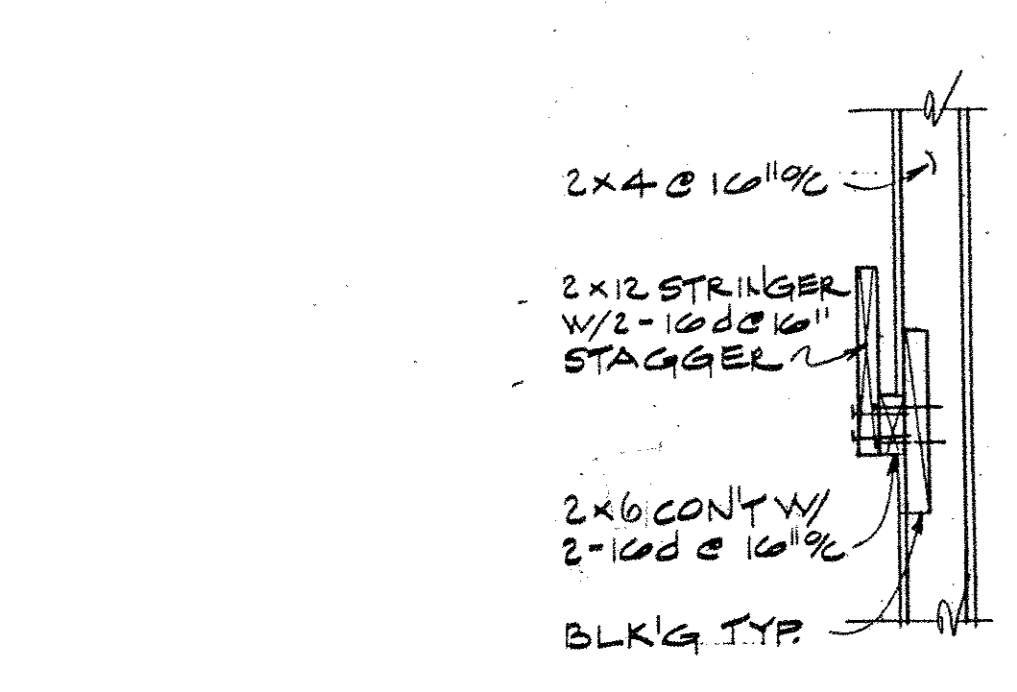
8 SECTION
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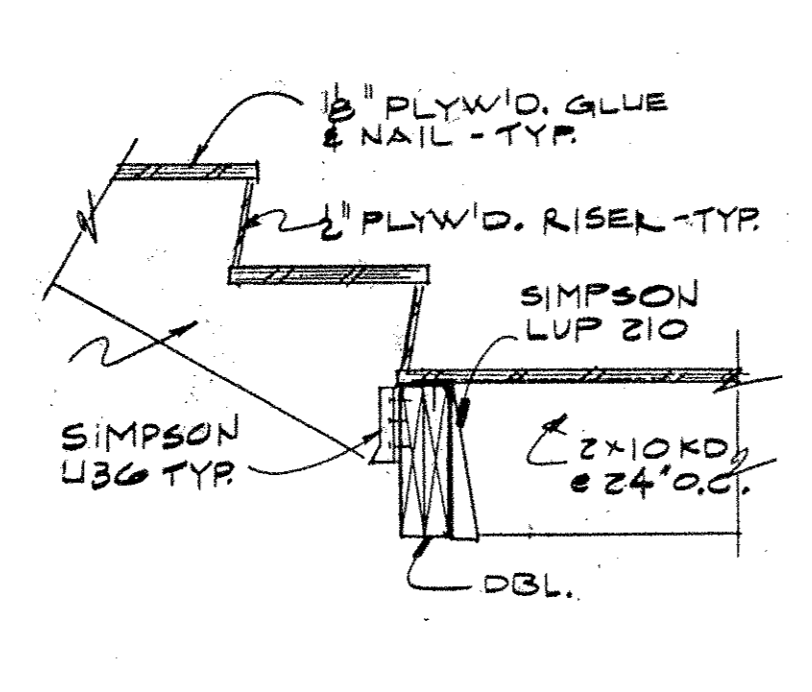
9 ELEVATION
S7 1" = 1'-0"

BEAM SIZE	CONNECTION	DETAIL	CONNECTION	DETAIL
W8 & W10	L 4 x 3 1/2 x 1/2 x 0'-6" E.S. WITH 2-3/4" Ø M.B. @ 3" O.C. EACH LEG	(S7)	PLATE 1/2 x 8 x 6" E.S. WITH 2-3/4" Ø M.B. @ 3" O.C. EACH BEAM	(S7)
W12 & W14	L 4 x 3 1/2 x 1/2 x 0'-9" EACH SIDE WITH 3-3/4" Ø M.B. @ 3" O.C. EACH LEG	(S7)	PLATE 1/2 x 8 x 9" EACH SIDE WITH 3-3/4" Ø M.B. @ 3" O.C. EACH LEG	(S7)
W16 & W18	L 4 x 3 1/2 x 1/2 x 1'-0" EACH SIDE WITH 4-3/4" Ø M.B. @ 3" O.C. EACH LEG	(S7)	PLATE 1/2 x 8 x 11-0" EACH SIDE WITH 4-3/4" Ø M.B. @ 3" O.C. EACH BEAM	(S7)
W21 & W24	L 4 x 3 1/2 x 1/2 x 1'-3" EACH SIDE WITH 5-3/4" Ø M.B. @ 3" O.C. EACH LEG	(S7)	PLATE 1/2 x 8 x 11-3" EACH SIDE WITH 5-3/4" Ø M.B. @ 3" O.C. EACH BEAM	(S7)

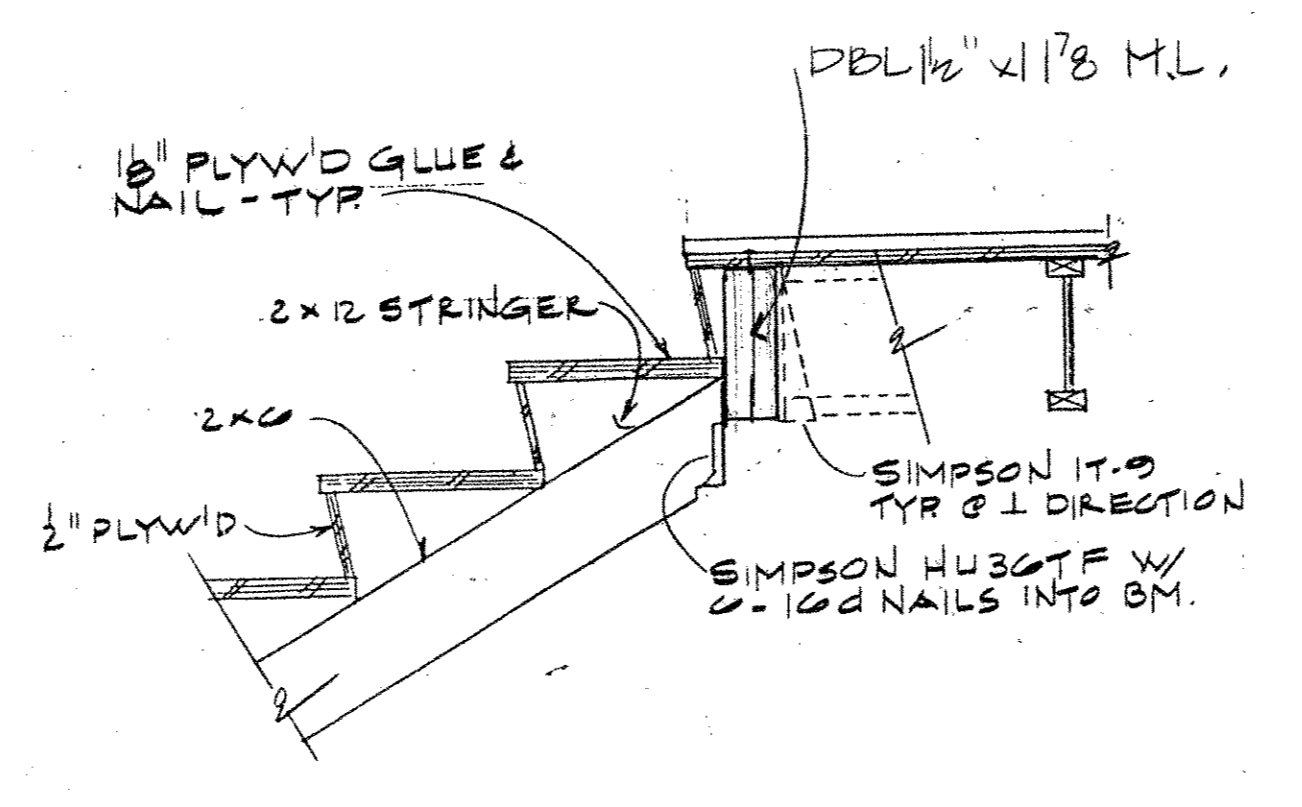
(A) BEAM CONNECTION SCHEDULE
S7



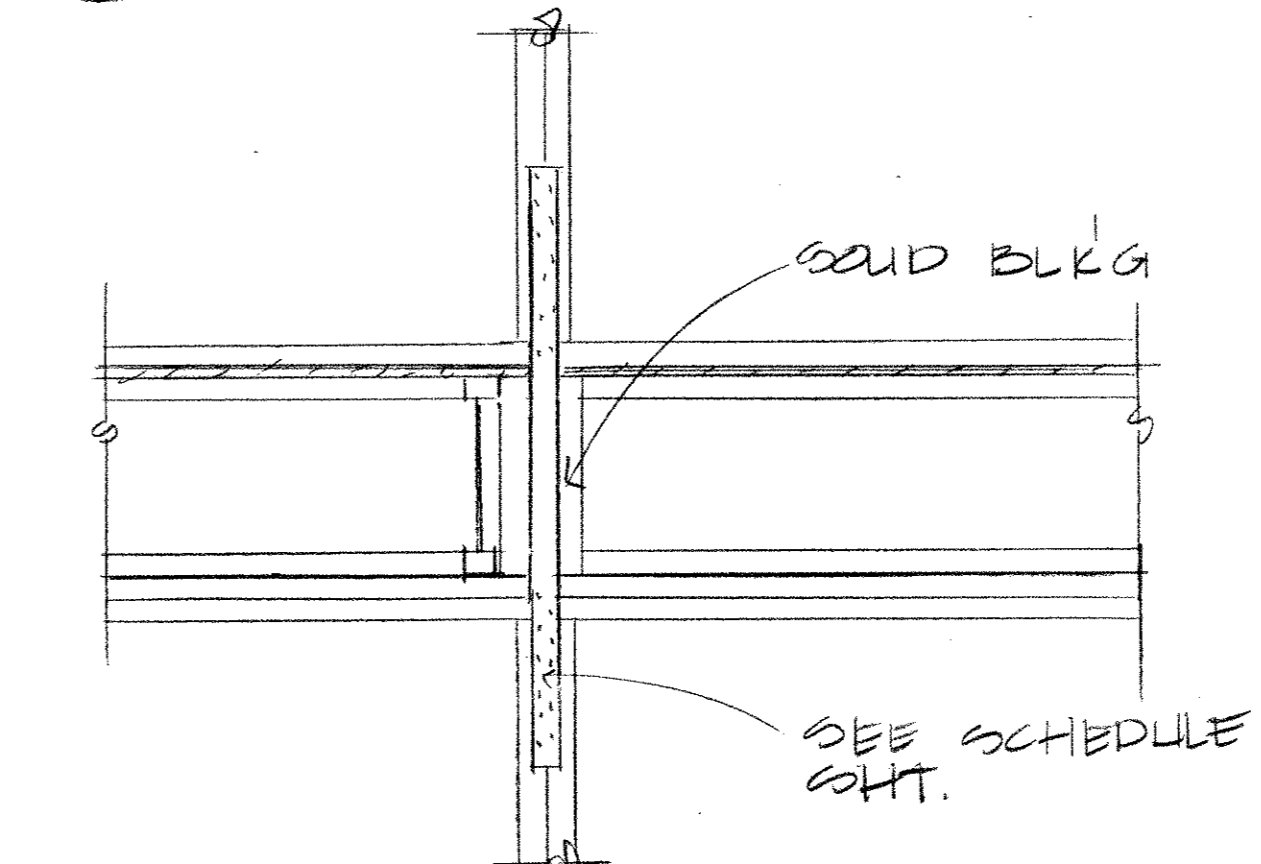
10 SECTION
S7 1" = 1'-0"



11 SECTION
S7 1" = 1'-0"



12 SECTION
S7 1" = 1'-0"



13 ELEVATION
S7 1" = 1'-0"

THE BUMGARDNER ARCHITECTS
A WASHINGTON CORPORATION
101 STEWART STREET
SUITE 200
SEATTLE, WASHINGTON 98101
206-223-1361

Kramer Gellen Associates Inc.
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400 COLUMBIA STREET, SUITE 240
VANCOUVER, WASHINGTON U.S.A. 98660

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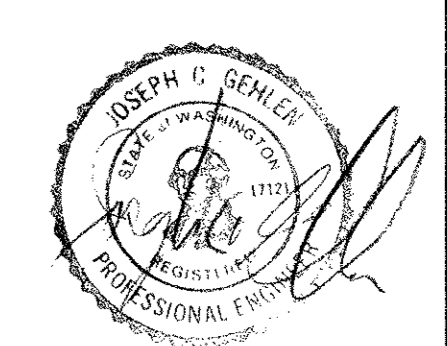
No	Revisions	Date

Date 1/20/09
Drawn by TD
Checked by JG

Project No 1114.01

FRAMING DETAILS

S7



1527/1529 WESTERN AVE. TENANT IMPROVEMENT

ABBREVIATIONS

A	AND	GA	GAUGE	QT	QUARRY TILE
L	ANGLE	GALV	GALVANIZED	R or RAD	RADIUS
S	AT	GB	GRAB BAR	RB	RESILIENT BASE
D	DIAMETER	GL	GLASS	RCP	REFLECTED CEILING PLAN
#	POUND OR NUMBER	GLB	GLU-LAM BEAM	RD	ROOF DRAIN
(E)	EXISTING	GND	GROUND	REF	REFERENCE
℄	CENTERLINE	GR	GRADE	REFR	REFRIGERATOR
		GRTD	GROUTED	REINFR	REINFORCED
A.B.	ANCHOR BOLT	GWB	GYP SUM WALL BOARD	RELOC	RELOCATE
ABV	ABOVE			REQD	REQUIRED
AC	AIR CONDITIONING	HB	HOSE BIBB	RES	RESILIENT
ACT	ACOUSTIC CEILING TILE	HC	HANDICAP	RM	ROOM
ACU	AIR CONDITION UNIT	HCU	HOLLOW CLAY MASONRY UNIT	RO	ROUGH OPENING
ADJ	ADJUSTABLE	HWID	HARDWOOD	RV	ROOF VENT
AFF	ABOVE FINISHED FLOOR	HWID	HARDWARE	RL	RAIN WATER LEADER
ALT	ALTERNATE	HT	HEIGHT		
ALUM	ALUMINUM	HM	HOLLOW METAL	S	SOUTH
APPROX	APPROXIMATELY	HR	HOUR	SA	SMOKE ALARM
		HORIZ	HORIZONTAL	SC	SOLID CORE
BLDG	BUILDING			SCHED	SCHEDULE
BLW	BELOW	LD	INSIDE DIAMETER	SECT	SECTION
B.O.	BOTTOM OF	INSUL	INSULATION	SG	SAFETY GLASS
		INT	INTERIOR	SHT	SHEET
CB	CATCH BASIN	JAN	JANITOR	SIM	SIMILAR
CBB	CEMENT BACKER BOARD	JT	JOINT	SPEC	SPECIFICATION
CEM	CEMENT	NT	KITCHEN	SQ	SQUARE
CJ	CONTROL JOINT			S.S.	STAINLESS STEEL
CL	CENTERLINE	LAB	LABORATORY	STA	STATION
CLG	CEILING	LAM	LAMINATE	STD	STANDARD
CLR	CLEAR	LAV	LAVATORY	STL	STEEL
CO	CLEAN OUT	LJR	LOCKER	STN	STAIN
COL	COLUMN	LOC	LOCATE	STOR	STORAGE
CONC	CONCRETE	LT	LIGHT	STRUCT	STRUCTURE
COND	CONDITION	LVL	LAMINATED VENEER LUMBER	SOG	SLAB ON GRADE
CONT	CONTINUOUS			SUSP	SUSPENDED
CPT	CARPET			SYN	SYMMETRICAL
CT	CERAMIC TILE				
		M	MEN'S	T, TMP	TEMPERED
DBL	DOUBLE	MATL	MATERIAL	T&G	TONGUE & GROOVE
DEMIO	DEMOLITION	MAX	MAXIMUM	TEL	TELEPHONE
DF	DRINKING FOUNTAIN	MC	MEDICINE CABINET	TER	TERRAZZO
DIA	DIAMETER	MECH	MECHANICAL	THK	THICK
DIFF	DIFFUSER	MEMB	MEMBRANE	T.O.	TOP OF
DM	DIMENSION	MFR	MANUFACTURER	TS	TUBE STEEL
DISP	DISPENSER	MIN	MINIMUM	TV	TELEVISION
DN	DOWN	MIR	MIRROR	TYP	TYPICAL
DR	DOOR	MISC	MISCELLANEOUS		
DS	DOWNSPOUT	MH	MANHOLE	UL	UNDERWRITERS' LABORATORIES
DTL	DETAIL	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
		MUL	MULLION	VERT	VERTICAL
E	EAST	N	NORTH	VEST	VESTIBULE
EA	EACH	NA	NOT APPLICABLE	VF	VERIFY IN FIELD
ECS	EXTERIOR COMPOSITE SIDING	NC	NOT IN CONTRACT	VTR	VENT THRU ROOF
EF	EXHAUST FAN	NOM	NOMINAL		
EJ	EXPANSION JOINT	NTS	NOT TO SCALE	W	WEST
EL	ELEVATION	NR	NOT RATED	W	WITH
ELEC	ELECTRICAL			WC	WATER CLOSET
ELEV	ELEVATOR	OA	OVERALL	WD	WOOD
EMERG	EMERGENCY	OBS	OBSCURE	WF	WIDE FLANGE
EQ	EQUAL	O.C.	ON CENTER	WID	WITHOUT
EXP	EXPANSION	O.D.	OUTSIDE DIAMETER	WOM	WALK OFF MAT
		OFF	OFFICE	WR	WATER RESISTANT
FBP	FIBER BOARD PANEL	OPNG	OPENING	WSCT	WAINSCOT
FD	FLOOR DRAIN	OPP	OPPOSITE	WT	WEIGHT
FE	FIRE EXTINGUISHER	PC	PRECAST CONCRETE		
FF	FINISH FLOOR	PL	PLATE	CA	OVERALL
FH	FIRE HYDRANT	PLAS	PLASTER	OBS	OBSCURE
FW	FINISH	PLY	PLYWOOD	O.C.	ON CENTER
FLR	FLOOR	PLAM	PLASTIC LAMINATE	O.D.	OUTSIDE DIAMETER
F.O.	FACE OF	PNT	PAINT	OFF	OFFICE
FOIC	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR	PR	PARR	OPNG	OPENING
		PRL	PRESSURE TREATED	OPP	OPPOSITE
FOO	FURNISHED BY OWNER	PTH	PARTITION		
FTIC	FURNISHED BY TENANT, INSTALLED BY CONTRACTOR				
FTT	FURNISHED BY TENANT, INSTALLED BY TENANT				
FR	FIRE RESISTANT				
FS	FLOOR SINK				

DRAWING SYMBOLS

	WALL SECTION
	BLDG SECTION
	EXTERIOR ELEVATION
	INTERIOR ELEVATIONS
	INTERIOR ELEVATION HAT
	DETAIL
	NORTH ARROW
	WINDOW NUMBER
	DOOR & DOOR NUMBER
	FLOOR TRANSITION
	REVISION
	BREAKLINE
	CENTERLINE
	PROPERTY LINE
	DIMENSION POINT
	ELEV. NOTE
	DETAIL BORDER

GENERAL NOTES

- MATERIALS, ASSEMBLIES AND NOTED ITEMS ARE NEW UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY CONDITIONS. NOTIFY THE ARCHITECT OF ANY CONDITIONS INCONSISTENT WITH THE INTENT OF THE DRAWINGS PRIOR TO STARTING OR CONTINUING WORK IN THE AREA CONCERNED.
- CODE
- ALL WORK SHALL CONFORM TO APPLICABLE CODES AND LOCAL BUILDING REQUIREMENTS, WHICH INCLUDE THE MOST CURRENT EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS, INTERNATIONAL MECHANICAL CODE (IMC), NATIONAL ELECTRICAL CODE (NEC), INTERNATIONAL FIRE CODE (IFC), AND WASHINGTON STATE ENERGY CODE (WEC).
 - MECHANICAL, ELECTRICAL AND PLUMBING PERMITS TO BE APPLIED FOR UNDER SEPARATE APPLICATION BY CONTRACTOR.
 - PROVIDE FIREBLOCKS AND DRAFTSTOPS PER IBC.
 - PROVIDE CLOSURE MEETING THE REQUIREMENT OF GOVERNING FIRE AUTHORITIES BETWEEN FIRE RATED FLOORS, SHAFTS AND BUILDING PARTITIONS AND PENETRATING DUCTS, PIPES, CONDUIT, MECHANICAL, ELECTRICAL, AND OTHER ITEMS.
 - RECESSES LOCATED WITHIN FIRE RATED PARTITIONS SHALL BE CONSTRUCTED TO MAINTAIN THE REQUIRED FIRE RATING OF THE PARTITION.
 - EXISTING FIRE EXTINGUISHERS AND CABINETS ARE NOT SHOWN ON PLANS. PROTECT EXISTING FIRE EXTINGUISHERS AND CABINETS (RECESSED OR SURFACE MOUNTED) FROM DAMAGE.

DEMOLITION

- WHERE ITEMS ARE INDICATED ON PLANS TO BE DEMOLISHED, IT SHALL MEAN THE COMPLETE REMOVAL AND DISPOSAL OF THE ITEM INDICATED UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING WORK.
- DIMENSIONS:
- DO NOT SCALE DRAWINGS.
 - VERIFY DIMENSIONS SHOWN ON DRAWINGS. USE ONLY DIMENSIONS INDICATED. PRIOR TO STARTING OR CONTINUING WORK, NOTIFY ARCHITECT OF DISCREPANCIES OR CONDITIONS INCONSISTENT WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.
 - DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, OR FACE OF STUD, UNLESS OTHERWISE NOTED.
 - FINISHED SURFACE OF INFILL OR EXTENSIONS OF EXISTING PARTITIONS SHALL ALIGN WITH ADJACENT EXISTING SURFACES UNLESS OTHERWISE NOTED.
 - VERTICAL DIMENSIONS ARE MEASURED FROM STRUCTURAL SLAB, TOP OF STEEL OR TOP OF SHEATHING, UNLESS NOTED OTHERWISE.
 - DOORS NOT LOCATED BY DIMENSION ON PLANS SHALL BE SIX INCHES FROM FACE OF ADJOINING PARTITION TO HINGE EDGE OF DOOR OPENING. PROVIDE MINIMUM 18" CLEAR FROM FACE OF ADJOINING PARTITION OR OTHER OBSTRUCTION TO JAMB EDGE OF DOOR OPENING, UNLESS OTHERWISE NOTED. NOTIFY ARCHITECT IF REQUIRED CLEARANCES ARE NOT AVAILABLE.

COORDINATION:

- COORDINATE ALL OPERATIONS WITH OWNER, SUCH AS AREAS USED FOR MATERIAL STORAGE, ACCESS TO AND FROM THE SITE, TIMING OF WORK AND REQUIREMENTS OF NOISE ORDINANCE. INSTALL DUST AND NOISE BARRIERS AS REQUIRED TO PROTECT EXISTING ADJACENT BUILDINGS AND OCCUPANTS AND TO MAINTAIN AN ENVIRONMENT SUITABLE TO PERMIT CONTINUED OCCUPANCY OF SUBJECT AND ADJACENT BUILDINGS.
- PATCH AND REPAIR ALL EXISTING SURFACES AFFECTED BY DEMOLITION WORK.
- VERIFY LOCATIONS OF EXISTING UTILITIES. CAP, MARK AND PROTECT AS NECESSARY TO COMPLETE THE WORK.
- REVIEW ARCHITECTURAL DRAWINGS AND PROVIDE ROUGH-INS THROUGH SLABS, BEAMS, WALLS, CEILINGS, AND ROOFS FOR DUCTS, PIPES, CONDUITS, JUNCTION BOXES, CABINETS AND EQUIPMENT. VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK. COORDINATE WITH INSTALLATION REQUIREMENTS. PATCH AND REPAIR EXISTING SURFACES AS NECESSARY TO COMPLETE WORK.
- COORDINATE AND PROVIDE REQUIRED PENETRATIONS AND PATCHING WITH INDIVIDUAL SUBCONTRACTORS TO SUIT NEW WORK.
- CONTRACTOR TO OBTAIN AND VERIFY ROUGH-IN DIMENSION REQUIREMENTS FOR CABINETS, EQUIPMENT, ACCESSORIES AND THE LIKE INCLUDING THOSE DESIGNATED FOIC AND FOIO. CONTRACTOR TO PROVIDE BACKING, BLOCKING, SUPPORT AS REQUIRED FOR INSTALLATION. CONTRACTOR TO COORDINATE POWER, DATA, COMMUNICATIONS AND SECURITY REQUIREMENTS FOR FOIC AND FOIO EQUIPMENT WHERE SERVICES ARE REQUIRED. INCLUDE STUB OUTS AND CONNECTIONS. VERIFY AND COORDINATE DIMENSIONS OF FOIC AND FOIO ITEMS PRIOR TO PROCEEDING WITH WORK. INCLUDE STUB OUTS FOR FUTURE WORK.
- PIPING, CONDUITS, DUCTS, ETC. SHALL BE CONCEALED IN WALLS, CHASES, ABOVE SUSPENDED CEILINGS, BELOW FLOORS OR BE FURRED-IN IN ROOMS WITH EXISTING CEILINGS, UNLESS OTHERWISE NOTED. DO NOT CONCEAL PIPING, CONDUITS, DUCTS, ETC. IN ELECTRICAL, MECHANICAL, AND COMMUNICATION ROOMS.
- CAREFULLY COORDINATE MECHANICAL, ELECTRICAL, AND BUILDING SYSTEM INSTALLATIONS WITH EXISTING STRUCTURE AND BUILDING SYSTEMS.
- "REMOVE" MEANS TO COMPLETELY AND PERMANENTLY REMOVE FROM THE PROJECT.
- REFER TO ARCHITECTURAL DRAWINGS FOR ELECTRICAL DEVICES AND LOCATIONS. COORDINATE AND REVIEW DEVICE LOCATIONS WITH OWNER IN FIELD PRIOR TO ROUGH-IN.
- REFER TO PIKE PLACE MARKET PRESERVATION & DEVELOPMENT AUTHORITY'S (PDA) PARKING GARAGE PLANS DATED JULY 5, 1988 LOCATED IN PDA MAINTENANCE SHOP. SEE SHEETS S3.6 AND S6.6.

PROJECT INFORMATION

PROJECT OWNER:
PIKE PLACE MARKET PDA

ADDRESS:
1527 WESTERN AVENUE
SEATTLE, WA 98101

PARCEL NUMBER: 659835-8888

LEGAL DESCRIPTION:
PC-1 SOUTH CONDOMINIUM, VOL 100, PAGES 44-50
AKA PAR A, 8800103, LTS 1-8, BLK H, A.A. DENNY'S 4TH ADD, EXC POR LT 2
CONDEMNED, EXC POR FOR ARMORY WY IN SUPERIOR COURT # (FILE)

SCOPE OF WORK:

- LIMITED DEMOLITION
- INSTALL INTERIOR PARTITIONS
- INSTALL INTERIOR CASEWORK
- INSTALL INTERIOR ARCHITECTURAL WOODWORK
- INSTALL PLUMBING
- INSTALL LIGHTING

ZONING: PMM-85 (PIKE MARKET MIXED -85)
HISTPP (PIKE PLACE MARKET HIST AREA)
OVERDF (DOWNTOWN FIRE DISTRICT)
ARTERL (ARTERIAL WITHIN 100 FT)
URBNV (URBAN VILLAGE OVERLAY)
VW100 (SCENIC VIEW WITHIN 100 FT)
AIRPRT (AIRPORT HEIGHT DISTRICT)
ECA1 (STEEP SLOPE (>=40%))
ARCH (ARCHAEOLOGICAL BUFFER AREA)

PARKING: NO CHANGE TO EXISTING

BUILDING CODE

APPLICABLE CODE: 2006 IBC W/ CITY OF SEATTLE AMENDMENTS

BUILDING OCCUPANCY ON FLOOR: MIXED
OF SPACE: B (FORMERLY M) - BANK OR BEAUTY PARLOR

CONSTRUCTION TYPE: TYPE V, 1 HR (NO CHANGE TO EXISTING)

NUMBER OF STORIES: NO CHANGE TO EXISTING

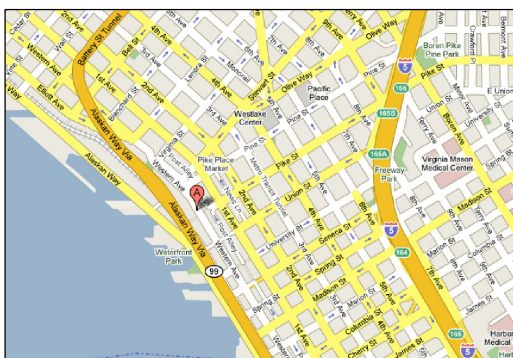
PARKING: NO CHANGE TO EXISTING

DESIGN TEAM

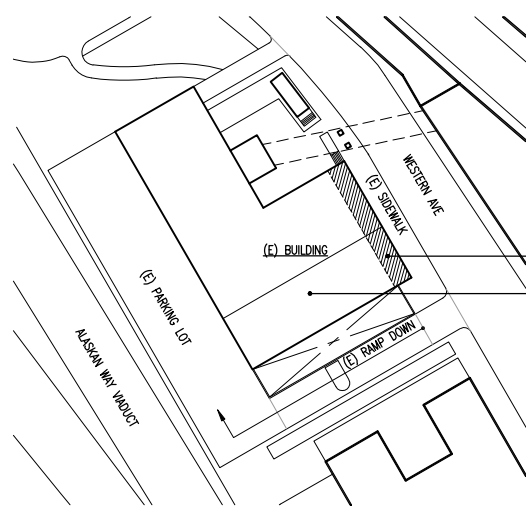
ARCHITECT:
SNYDER HARTUNG KANE STRAUSS ARCHITECTS
1050 NORTH 38TH STREET
SEATTLE, WA 98103
206.675.9151 (PHONE)
206.675.9150 (FAX)
CONTACT: MATT INPANBUTR

SHEET INDEX

DPD COVER SHEET
A0.0 GENERAL INFORMATION
A1.1 FIRST FLOOR PLANS
A6.1 INTERIOR ELEVATIONS AND RCP



1 VICINITY MAP
SCALE: NTS



2 SITE PLAN
SCALE: 1/64" = 1'-0"

PROJECT SITE
1527 WESTERN AVE., GROUND FLOOR

DPD BUILDING ID 000023678

BUILDING DESCRIPTION PC-1 SOUTH CONDOMINIUM: 1531

LEGAL DESCRIPTION
PC-1 SOUTH CONDOMINIUM, VOL 100, PAGES 44-50
AKA PAR A, 8800103, LTS 1-8, BLK H, A.A. DENNY'S 4TH ADD, EXC POR LT 2 CONDEMNED, EXC POR FOR ARMORY WY IN SUPERIOR COURT # (FILE)

1050 North 38th Street
Seattle Washington 98103
Telephone 206.675.9151
Facsimile 206.675.9150
www.shksarchitects.com

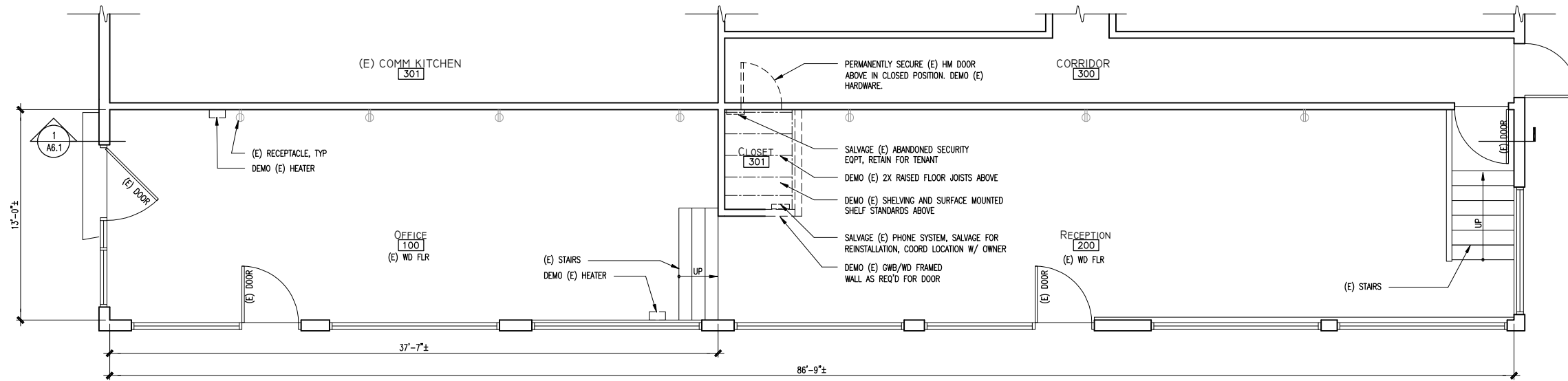
SNYDER | HARTUNG | KANE | STRAUSS
ARCHITECTS

1527/1529
Western Avenue
Tenant Improvement
Construction Set

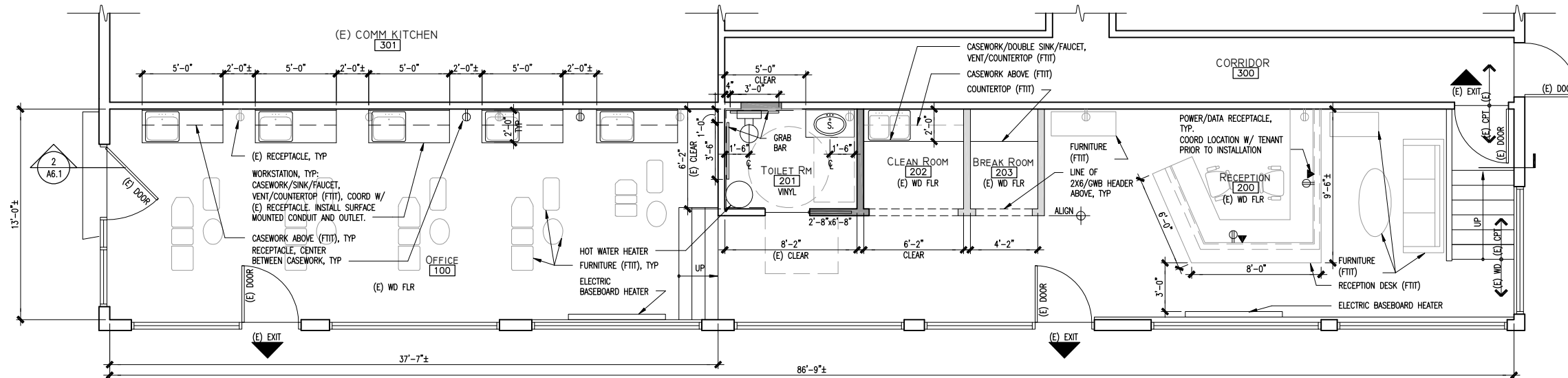
1527/1529 Western Avenue
Seattle, WA 98101

Drawn by: ML
Checked: JH
Date: February 10, 2009
Scale: As Indicated
Revisions: No. Date Remarks

General
Information
A0.1



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

1050 North 36th Street
Seattle Washington 98103
Telephone 206.675.9151
Facsimile 206.675.9150
www.shksarchitects.com

SNYDER | HARTUNG | KANE | STRAUSS
ARCHITECTS

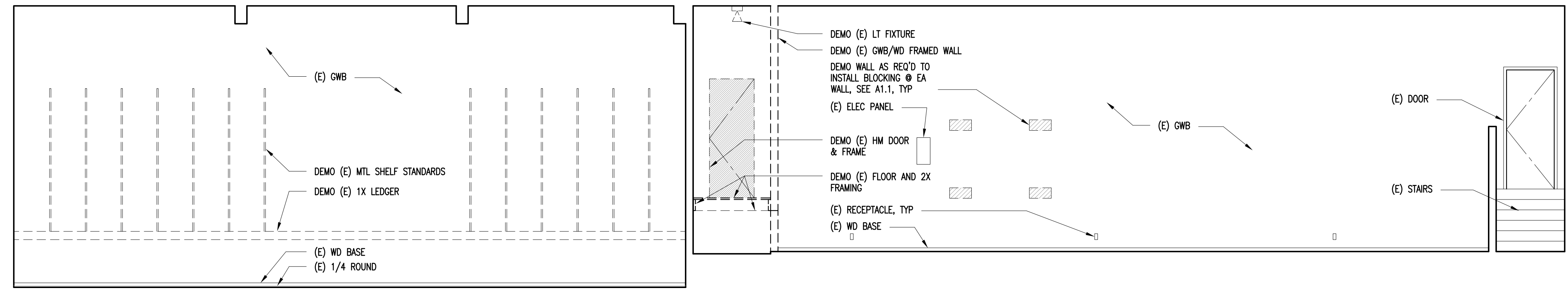
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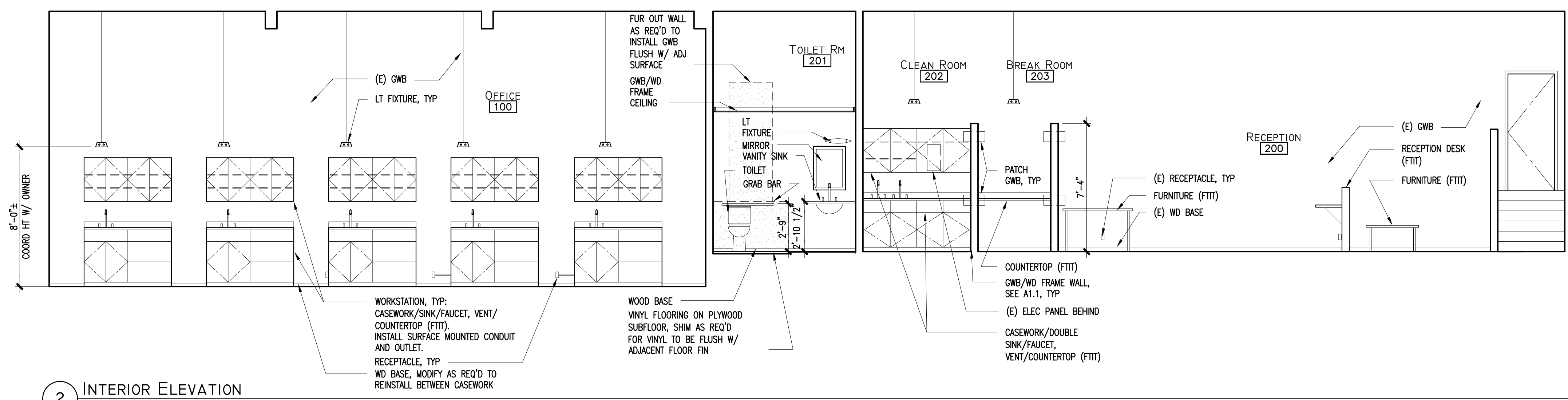
First Floor Plans

A1.1



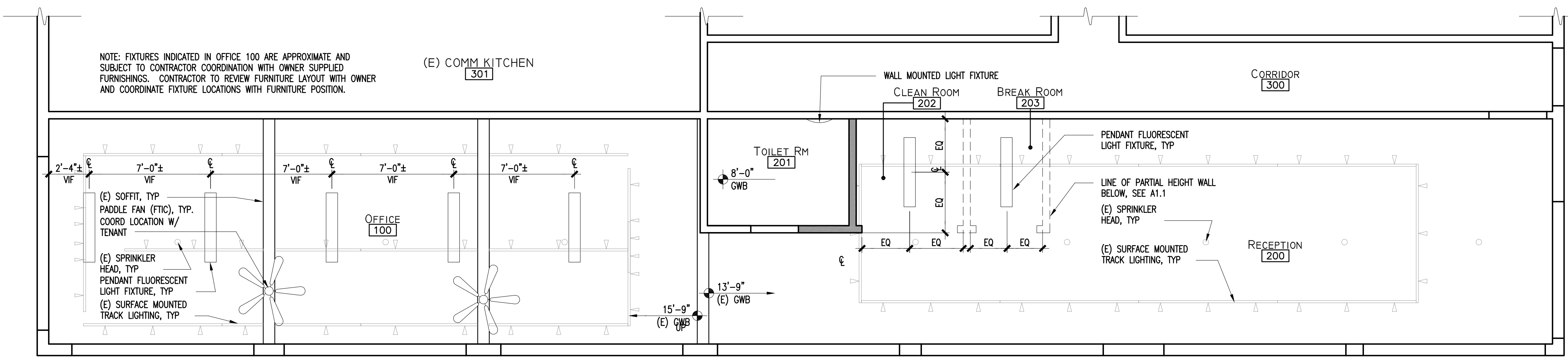
1 DEMOLITION INTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

LOOKING WEST

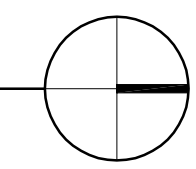


2 INTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

LOOKING WEST



3 FIRST FLOOR REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



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